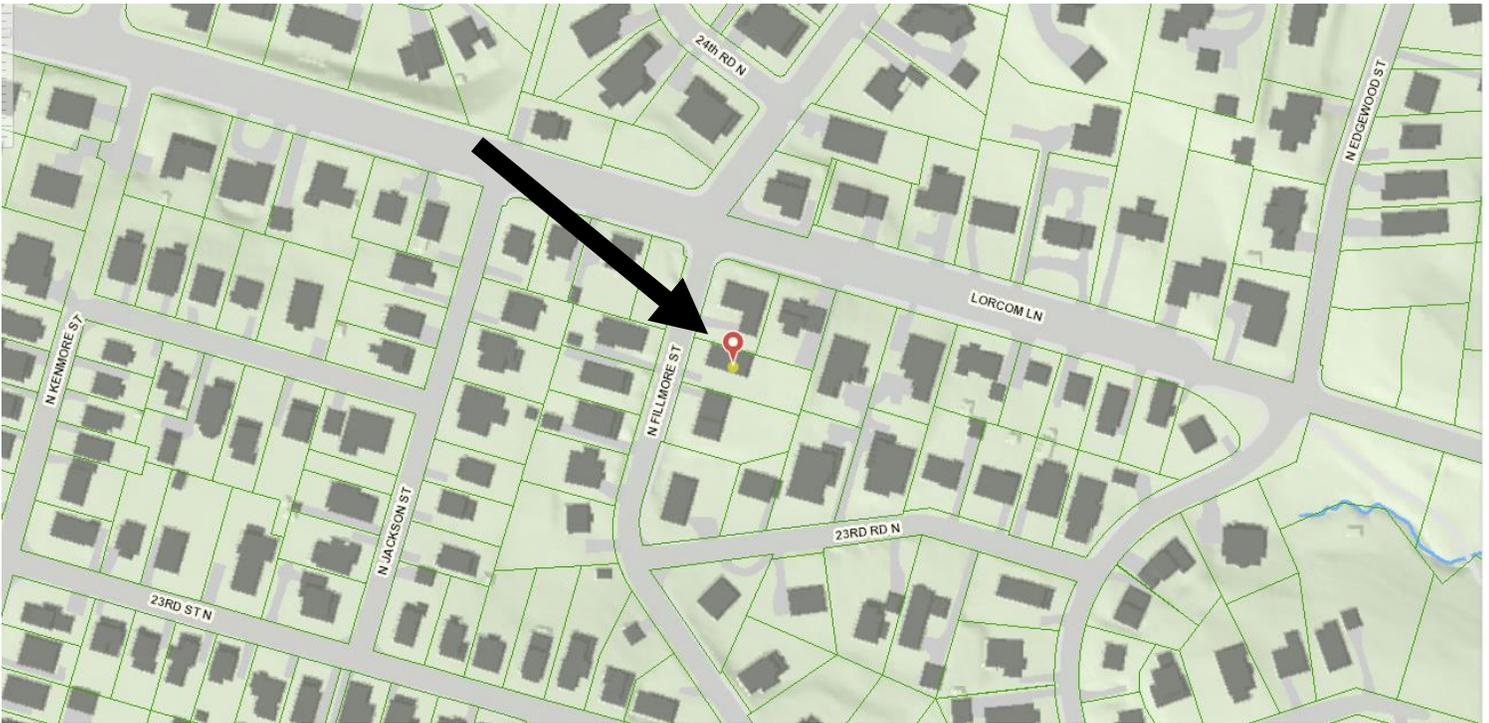


Historical Affairs and Landmark Review Board

Arlington County, Virginia

HALRB Case 15-12 (HP1500022)



A request by Vinai & Barbara Thummalapally, owners of 2343 North Fillmore Street in the Maywood Neighborhood Historic District, for partial demolition and construction of an addition, extended deck, and lower patio.

For DRC (*circle those present*): **Robert Dudka, Charles Craig, Charles Matta, Andrew Wenchel, Tova Solo, Joan Lawrence**

For Arlington County (*circle those present*): **Cynthia Liccese-Torres, Rebecca Ballo, John Liebertz**

Case # 15-12 Agenda Item # 2

Application Complete

Application Incomplete

Applicant(s): Thummalapally

For Applicant(s): Owners, Heidi Fitzharris

(See attached application for applicant, address, name of property and property description, drawings, photographs, and proposed scope of work.)

Design Recommendations:

1. Study options that preserve bay window.
2. Show different massing, try an offset massing, or pushing the massing to the rear.
3. Break up shed “dormer”/overhang in the rear.
4. Consider materials other than stucco (shingles?) or other breaks to offset the old and new.
5. Ok with the idea of an addition and the overall size of the addition.

Findings:

Return to next DRC meeting

Send to HALRB

If sent to HALRB, recommended action is:

Place on consent agenda

Place on discussion agenda:

Recommend approval of CoA, with DRC design recommendations and/or additional information provided

Recommend deferral of ruling on CoA (explanation)

Recommend denial of CoA (explanation)

No recommendation.

For DRC (*circle those present*): **Robert Dudka, Charles Craig, Charles Matta, Andrew Wenchel, Tova Solo, Joan Lawrence**

For Arlington County (*circle those present*): **Cynthia Liccese-Torres, Rebecca Ballo, John Liebertz**

Case # 15-12 Agenda Item # 2

Applicant(s): Thummalapally
For Applicant(s): FitzHarris

(See attached application for applicant, address, name of property and property description, drawings, photographs, and proposed scope of work.)

Design Recommendations:

1. Okay with preferred Scheme A.
2. Include triple window at the front of the addition.
3. For the side of the addition use A-11.
4. Prefer pebble-dash stucco on the addition.
5. Include all specifications.

Findings:

- Return to next DRC meeting
 Send to HALRB

If sent to HALRB, recommended action is:

- Place on consent agenda
 Place on discussion agenda:

Recommend approval of CoA, with DRC design recommendations and/or additional information provided

Recommend deferral of ruling on CoA (explanation):

Recommend denial of CoA (explanation):

No recommendation.

CERTIFICATE OF APPROPRIATENESS STAFF REPORT

TO: HALRB

FROM: John Liebertz, Historic Preservation Planner

DATE: September 8, 2015

SUBJECT: 2343 North Fillmore Street, CoA 15-12, Maywood Historic District

The Craftsman-inspired bungalow at 2343 North Fillmore Street is a contributing resource in the Maywood Historic District. The *Maywood National Register Nomination* describes the pre-1923 house as follows:

The wood frame dwelling sits on a solid foundation and is capped by a side-gabled roof with asphalt shingles and a large central gabled dormer with weatherboard cladding. The dwelling, clad in stucco, measures two bays in width and features an end-bay entry, three-bay porch with Tuscan post supports, overhanging eaves, and 6/1 wood windows. Other details include thin wood surrounds and sills, square balusters, exposed roof rafters, and a wood cornice.

The owner of the property proposes a one-story addition with a clipped side-gable roof that will match the slope of the existing roofline. Alterations to the original building include the: 1) demolition of an original bay window (at the site of the addition on the east elevation); 2) construction of a shed dormer on the rear slope of the side-gable roof with cedar-shingle cheek walls; and 3) replacement of the 15-light, double-leaf, wood doors with four-panel, 15-light, sliding wood doors on the rear elevation. The new addition will have complementary details to the historic house including an asphalt shingle roof, pebble-dashed stucco, and six-over-one wood windows.

The DRC first heard this case at its August 5, 2015, meeting. The DRC and staff recognized that a rear addition may have been more appropriate to the overall design of the historic house, but accepted that existing conditions (recently constructed deck and pool) precluded such an addition. The DRC recommended the applicant further study options that preserved the bay window, which would shift the massing of the addition towards the rear of the dwelling, and to consider other appropriate siding materials for the new construction.

The applicant returned to the September 2, 2015, DRC meeting with revised drawings and a number of options that preserved the bay window in part or in whole. The applicant, however, continued to prefer the demolition of the bay window. Staff prepared a digital 3D model that showed the existing house and preferred addition (see below). Staff advised the DRC to recommend approval of the demolition of the bay window as it allows for a more complementary addition. Design solutions that preserved the bay window created the effect of a small house attached to the main house instead of a subservient addition. Moreover, the new massing and roof lines negatively impacted the historic house's character defining form. As shown below, the demolition of the bay window allows for the proposed addition's roofline to tie directly into the existing house, adhering to the typical bungalow form. The addition will be differentiated from the main house by the pebble-dash stucco which will be visibly different than the existing stucco. The DRC members agreed with staff's analysis and requested minor alterations to the fenestration of the proposed design and specification sheets for all materials.

The DRC recommended approval of this application and asked that this case be placed on the consent agenda for the September 16, 2015, HALRB meeting. Staff finds that this request meets the intent of Chapter 5: Exterior Renovation and Chapter 6: New Addition/Building of the *Maywood Design Guidelines* and recommends approval.

