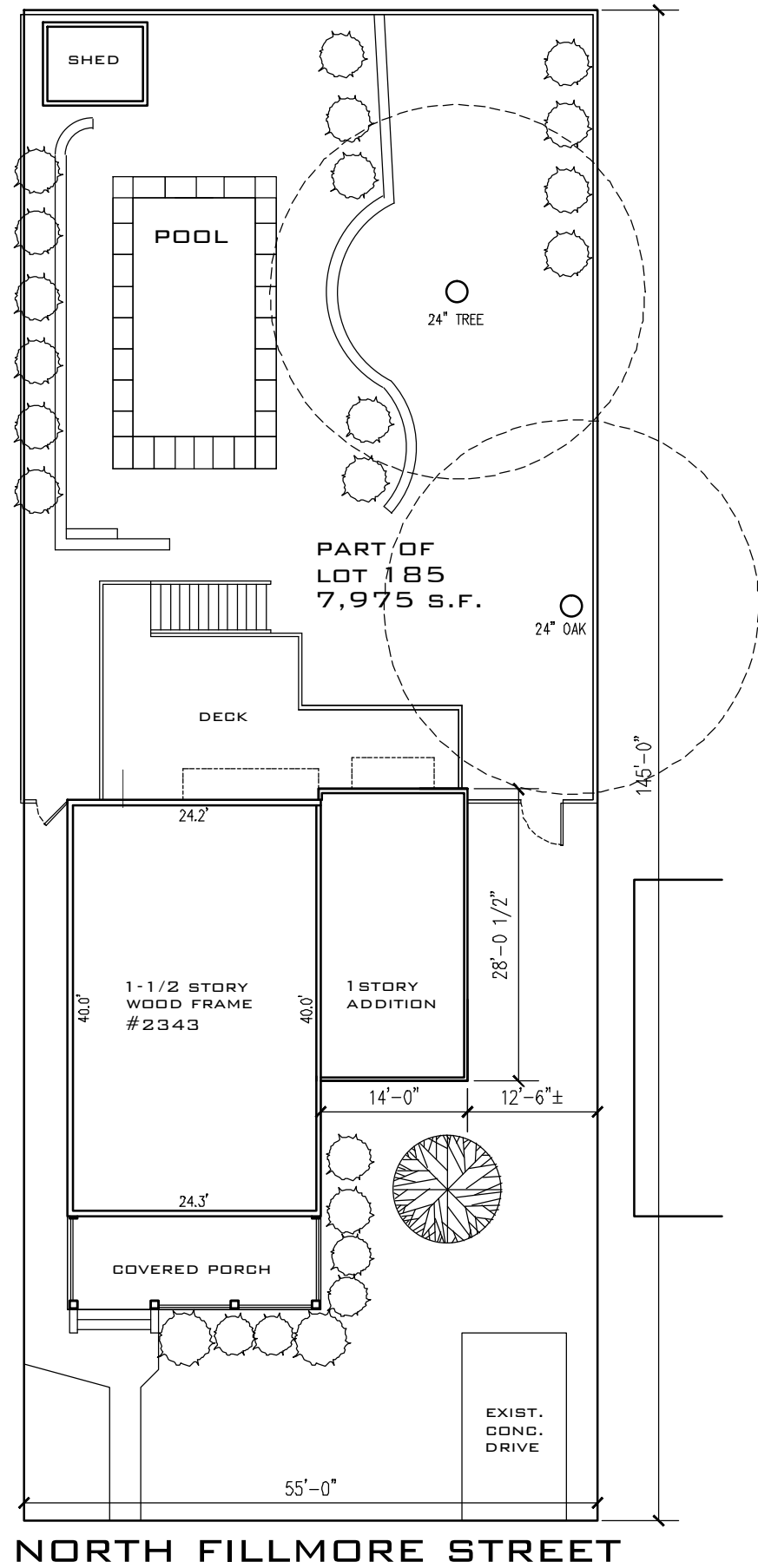


NORTH FILLMORE STREET

**EXISTING SITE PLAN**

Scale: 1/16" = 1'-0"



NORTH FILLMORE STREET

**NEW SITE PLAN**

Scale: 1/16" = 1'-0"



**FITZHARRIS  
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**THUMMALAPALLY RESIDENCE**

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Renovation & Addition

Issue:	Date:
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COVER SHEET

**C-S**

**ARLINGTON ZONING**

- ARLINGTON ZONE R-6 RESTRICTIONS:  
 MAIN RESIDENCE:  
 25' FRONT SETBACK  
 10' or 8' SIDE SETBACK - BOTH SHALL NOT BE LESS THAN 30% OF REQUIRED WIDTH.  
 25' REAR SETBACK  
 35' HEIGHT RESTRICTION; AVERAGE OF 4 CORNERS
- ACCESSORY STRUCTURE < 2 STORIES, INCLUDING 1-1/2:  
 1' REAR & SIDE SETBACK  
 560 SF MAXIMUM  
 (GARAGES MUST HAVE 1-HOUR RATED FIREWALL IF WITHIN 5' OF PROPERTY LINE)
- EXCEPTIONS TO RESTRICTIONS:  
 OPEN PORCHES & STAIR MAY ENCROACH 4' AT FRONT  
 CHIMNEY MAY ENCROACH 18" AT SIDE

**BUILDING PLANNING**

- DESIGN CRITERIA SHALL BE:  
 GROUND SNOW LOAD 25 PSF  
 WIND SPEED 90 MPH (3 SECOND GUST)  
 SEISMIC ZONE: S8=19%g S1=7%g  
 MAXIMUM RAIN FALL 3.2 IN/HR  
 FROST LINE DEPTH 24"
- MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS  
 ATTICS W/STORAGE 20 PSF  
 ATTICS W/O STORAGE 10 PSF  
 DECKS 40 PSF  
 EXTERIOR BALCONIES 60 PSF  
 PASSENGER VEHICLE GARAGES (GRADE) 50 PSF  
 ROOMS OTHER THAN SLEEPING 40 PSF  
 SLEEPING ROOMS 30 PSF

**GENERAL CODE & PLANNING NOTES**

- GLAZING SHALL BE TEMPERED ACCORDING TO IRC 2009 R308.4 HAZARDOUS LOCATIONS. INCLUDES BATHROOMS WHEN GLAZING IS LESS THAN 60" VERTICALLY FROM FLOOR, STAIRS WHEN GLAZING IS LESS THAN 60" VERTICALLY AND HORIZONTALLY FROM ANY TREADS, AND ANY WINDOW WHERE THE GLAZING IS LESS THAN 18" ABOVE FINISHED FLOOR.
- BATHROOM MIN. CLEARANCES AT FIXTURES:  
 - WATER CLOSET AT 15" FROM C.L. TO WALL/TUB, 4" SIDE CLEARANCE TO LAVATORIES, AND 21" IN FRONT.  
 - SHOWER MINIMUM DIMENSION IS 30"x30" WITH 24" CLEARANCE IN FRONT.  
 - LAVATORIES REQUIRE 4" CLEAR ON SIDES.
- STAIR SHALL BE CONSTRUCTED PER VIRGINIA USBC 2009. 8-1/4" MAXIMUM RISER HEIGHT AND 9" MINIMUM TREAD DEPTH. HANDRAIL 34"-38" HEIGHT MEASURED VERTICALLY FROM NOSING OF THE TREAD. 6'-8" MINIMUM HEADROOM. 36" MINIMUM WIDTH ABOVE RAIL; HANDRAIL MAY PROJECT 4.5" ON EITHER SIDE.
- SLEEPING ROOMS AND HABITABLE BASEMENTS SHALL BE PROVIDED MEANS OF EGRESS THROUGH SIZED WINDOW/DOOR W/SILL LESS THAN 44" A.F.F.
- WOOD PROTECTION: WOOD JOISTS CLOSER THAN 18" OR GIRDERS CLOSER THAN 12" TO GROUND, ALL WOOD WITHIN 6" OF GROUND, AND ALL WOOD IN CONTACT W/CONCRETE/CMU MUST BE P.T. FOR DECAY. IRC R319.
- PLUMBING FIXTURES TO COMPLY WITH CODES. 1.6 GPF TOILET. SHOWER TO HAVE PRESSURE BALANCE FAUCET MINIMUM OR THERMOSTATIC CONTROL.
- SMOKE ALARMS SHALL BE INSTALLED IN ALL SLEEPING ROOMS, IMMEDIATE VICINITY OUTSIDE SLEEPING ROOMS, AND EACH LEVEL. HARDWARE AND INTERCONNECT.

**GENERAL DEMOLITION NOTES**

- REMOVE WALLS, DOORS, FIXTURES, AND CABINETS AS NOTED. SAVE FOR REUSE PER OWNER DIRECTION, OR SAVE FOR DONATION. REMOVE FINISHES, FRAMING, ROOFING, PIPES, ETC AND RECYCLE WITH RECEIPT. PREPARE FOR NEW WALL FRAMING PER NEW DESIGN INTENT AND FINISHES.
- TEMPORARILY BRACE AND REINFORCE STRUCTURE AS REQUIRED. INSTALL NEW BEAMS AND POSTS FOR NEW DESIGN INTENT - SEE STRUCTURAL DRAWINGS.
- RELOCATE MECHANICAL DUCTS AND VENTS AS REQUIRED FOR NEW DESIGN INTENT.
- RELOCATE PLUMBING AS REQUIRED FOR NEW DESIGN.
- SALVAGE MATERIALS, APPLIANCE, FIXTURES ETC FOR REUSE, DONATION, OR RECYCLING WHERE APPLICABLE.

**GENERAL SPECIFICATIONS**

- NEW INTERIOR AND EXTERIOR WALLS SHALL BE 2X4 WOOD STUDS AT 24" O.C. UNLESS OTHERWISE NOTED OR TO ALIGN. WALL FINISHES SHALL ALIGN WITH ADJACENT FINISH.
- IN AREAS FOR NEW FLOORING; REMOVE EXISTING FLOORING IF APPLICABLE, LEVEL JOISTS AND INSTALL NEW 3/4" PLYWOOD T&G SUBFLOOR GLUED & SCREWED. SEE PLANS FOR AREAS WITH RADIANT HEAT AND COORDINATE SUBFLOOR.
- WOOD FLOORING SHALL HAVE SOLID HARDWOOD T&G 3/4" THICK BY SPECIFIED WIDTH AND SPECIES. VARIOUS LENGTHS (4' MIN). FIELD FINISH W/STAIN (TBD) AND VOC FREE WATER-BASED POLYURETHANE.
- GYPSON BOARD SHALL BE 1/2" THICK AT WALLS AND 5/8" THICK AT CEILINGS.
- TUB AND SHOWER FLOORS & WALLS SHALL BE FINISHED W/A NONABSORBENT SURFACE AT LEAST 6" ABOVE THE FLOOR PER R307.2. DUROCK CEMENT BOARD AT WET SHOWER/BATH AREAS. MOISTURE RESISTANT BOARD FOR MOIST/HUMID AREAS. TYPICAL.
- SHOWER FLOOR TO HAVE CUSTOM PAN & LINER FOR TILE FLOOR. RAISED CURB W/STONE THRESHOLD.
- EXTERIOR FRAMED WALLS SHALL HAVE 1/2" PLYWOOD SHEATHING, TYVEK, AND SPECIFIED SIDING.
- SHEATHING NAILING PATTERN PER CODE FOR SHEAR STRENGTH AND ENGINEER'S SPECIFICATIONS.
- ROOF FRAMING AT 24" O.C., 5/8" PLYWOOD EXTERIOR ROOF SHEATHING WITH 3/8" GAPS & CLIPS. ROOF MATERIAL PER ELEVATION INSTALLE DPER MANUFACTURER'S SPECIFICATIONS.
- ALL EXTERIOR TRIM SHALL BE 5/4 UNLESS NOTED OTHERWISE. MATCH ORIGINAL HEADS AND SILLS AT WINDOWS. SEE ELEVATIONS SPECIAL LOCATIONS & PROFILES.
- PRIME ALL SIDES/ENDS & CUTS OF EXTERIOR SIDING & TRIM. TWO COATS OF PAINT. SHERWIN WILLIAMS IN HARMONY OR EQUAL (OWNER TO SPECIFICATION).
- ALL NEW INTERIOR CASING, MOULDINGS, BASE MOULD, PLINTH BLOCKS, CORBER ROSETTES, ETC THROUGHOUT SHALL BE SOLID WOOD WITH PROFILES TO MATCH EXISTING.

**FINISH SPECIFICATIONS**

- SEE FINISH SPECIFICATIONS ON PLANS.
- SEE ELEVATIONS FOR TRIM PROFILE AND LOCATIONS, SIDING, ROOF MATERIAL, ETC.
- SEE FINISH SCHEDULE FOR CERAMIC AND STONE TILE. COUNTERS, PRICE PER SF, AND ESTIMATED SF.

**FIXTURE SPECIFICATIONS**

- SEE FIXTURE SCHEDULE FOR PLUMBING, HARDWARE, & LIGHTING SPECIFICATIONS FOR MANUF/MODEL OR ALLOW.
- SEE FIXTURE SCHEDULE FOR ITEMS DESIGNATED AS PROVIDED BY OWNER VESRUS GC. ALL FIXTURES SHALL BE INSTALLED BY GC.

**INSULATION SPECIFICATIONS**

- PROVIDE INSULATION TO MEET THE MINIMAL R VALUE IN AREA OF NEW WORK, TYPICAL EXCEPT AS NOTED ON DRAWINGS. BATT INSULATION SHALL BE FORMALDEHYDE FREE. RIGID INSULATION AS NOTED. CLOSED/OPEN SPRAY FOAM IF NOTED. MINIMUM VALUES ARE PER TABLE R402.1.1 OF THE 2012 IRC - CLIMATE ZONE 4:  
 R-49 FOR ROOF OF ADDITION AND EXISTING  
 R-38C OR R-38 FOR NEW ROOF AREA OVER EXTERIOR WALLS W/ LIMITED SPACE (LESS THAN 20% OF AREA)  
 R-20 FOR EXTERIOR 2X6 WALLS AT 5-1/2"  
 R-15 + R-6 FOR EXT 2X4 PLUS 1.5" ZIP R SHEATHING  
 R-25 FOR FLOORS OVER UNCONDITION AIR / GARAGE  
 R-11 UNFACED FOR INTERIOR WALLS  
 R-30 AT BAND JOIST  
 R-15 FOR STUD CAVITY AT BASEMENT WALL  
 R-10 FOR CONTINUOUS AT BASEMENT WALL

**ABBREVIATIONS AND SYMBOLS**

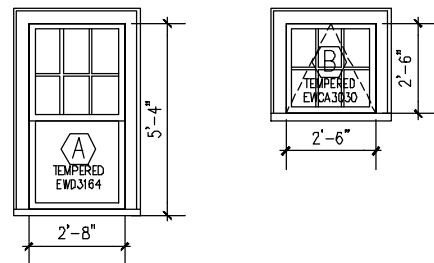
- U.O.N - UNLESS OTHERWISE NOTED
- TYP - TYPICAL
- O.C. - ON CENTER
- A.F.F - ABOVE FINISH FLOOR
- A.F.S - ABOVE FINISH SURFACE
- CMU - CONCRETE MASONRY UNIT
- W/ - WITH
- SPEC - SPECIFICATION
- MANF - MANUFACTURER
- GC - GENERAL CONTRACTOR
- DEMO - DEMOLITION OR DEMOLISH
- EX. - EXISTING
- R'QR - REQUIRED

- CENTERLINE
- ALIGN FINISH SURFACES
- CHANGE IN FINISH FLOOR ELEVATION
- RETURN AIR VENT AT WALL
- MECHANICAL DUCT
- THERMOSTAT
- HOSE BIB - FROST PROOF W/QUICK SHUT OFF
- SMOKE AND CARBON MONOXIDE DETECTOR W/ALARM
- SM/CM
- ROOF SLOPE
- STAIR DIRECTION OR SLOPE ON ROOF PLAN
- CENTER LINE. ALIGN CENTER W/OTHER OBJECT
- OVERHEAD CONDITION OR DEMOLITION
- 3680 DOOR SIZE IN INCHES. 36" WIDE X 80" HIGH
- WINDOW OR EXTERIOR DOOR SYMBOL
- BUILDING OR WALL SECTION CUT SYMBOL
- INTERIOR ELEVATION SYMBOL

EXTERIOR WINDOW & DOOR SCHEDULE		QUANTITY		
		UP	LT.	RT.
	JELDWEN SITELINE WOOD WINDOWS AND PATIO DOORS, OR EQUAL WOOD MANUFACTURER. DIMENSIONS NOTED ARE GENERAL UNIT SIZE; TO BE COORDINATED WITH FINAL SELECTED MANUFACTURER. PRIMED AND PAINT EXTERIOR & INTERIOR TO BE FIELD FINISHED AND TRIMMED. LOW E DOUBLE GLAZING WITH ARGON GAS FOR U-FACTOR OF .34 OR BETTER ON WINDOWS; AND .32 ON GLASS DOORS. SCREENS ON ALL OPERABLE UNITS. SIMULATED DIVIDED LITE (SDL) MUNTIN BARS AS SHOWN. HARDWARE FINISH TO BE SELECTED BY OWNER.			
(A)	DOUBLE HUNG WINDOW. SEE ELEVATION FOR GANGED UNITS. TEMPERED SAFETY GLAZING AT HAZARDOUS LOCATIONS.			
(B)	AWNING WINDOW. SEE ELEVATION FOR GANGED UNITS, MUNTIN BARS, AND TEMPERED SAFETY GLAZING.			
(P)	SLIDING FRENCH DOOR - HARDWARE SELECTED BY OWNER. TEMPERED SAFETY GLAZING.			

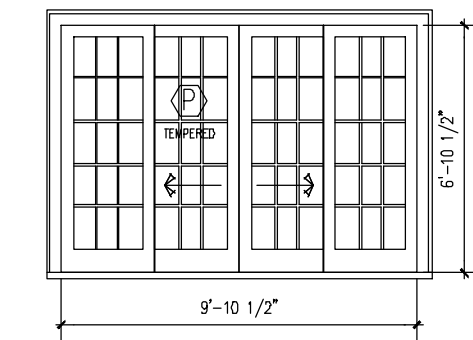
**NEW WINDOWS**

DIMENSIONS NOTED ARE UNIT FRAME SIZE. SEE MANUFACTURER FOR ROUGH OPENING SIZE. SEE SCHEDULE FOR MODEL NUMBERS AND DETAILS.



**NEW PATIO DOORS AND EXTERIOR DOORS**

DIMENSIONS NOTED ARE GENERAL UNIT DIMENSIONS. COORDINATE WITH FINAL SELECTED MANUFACTURER'S PRODUCT FOR PATIO DOORS.



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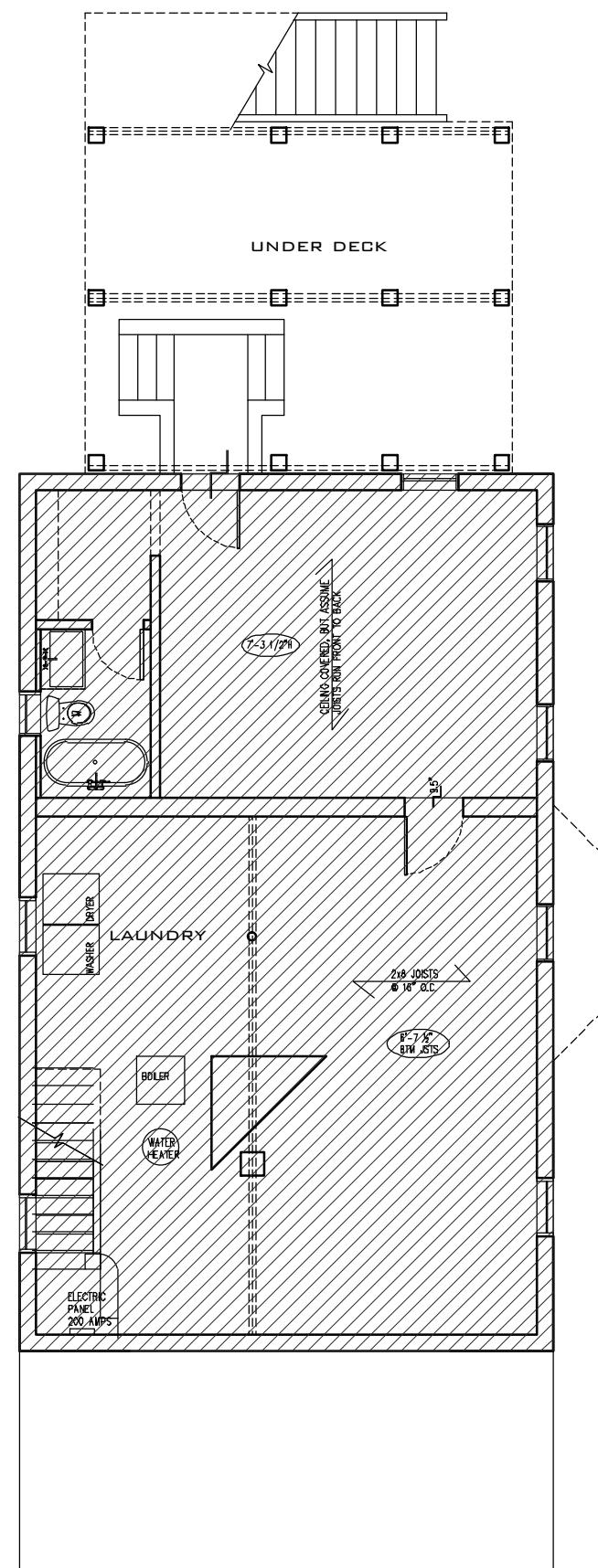
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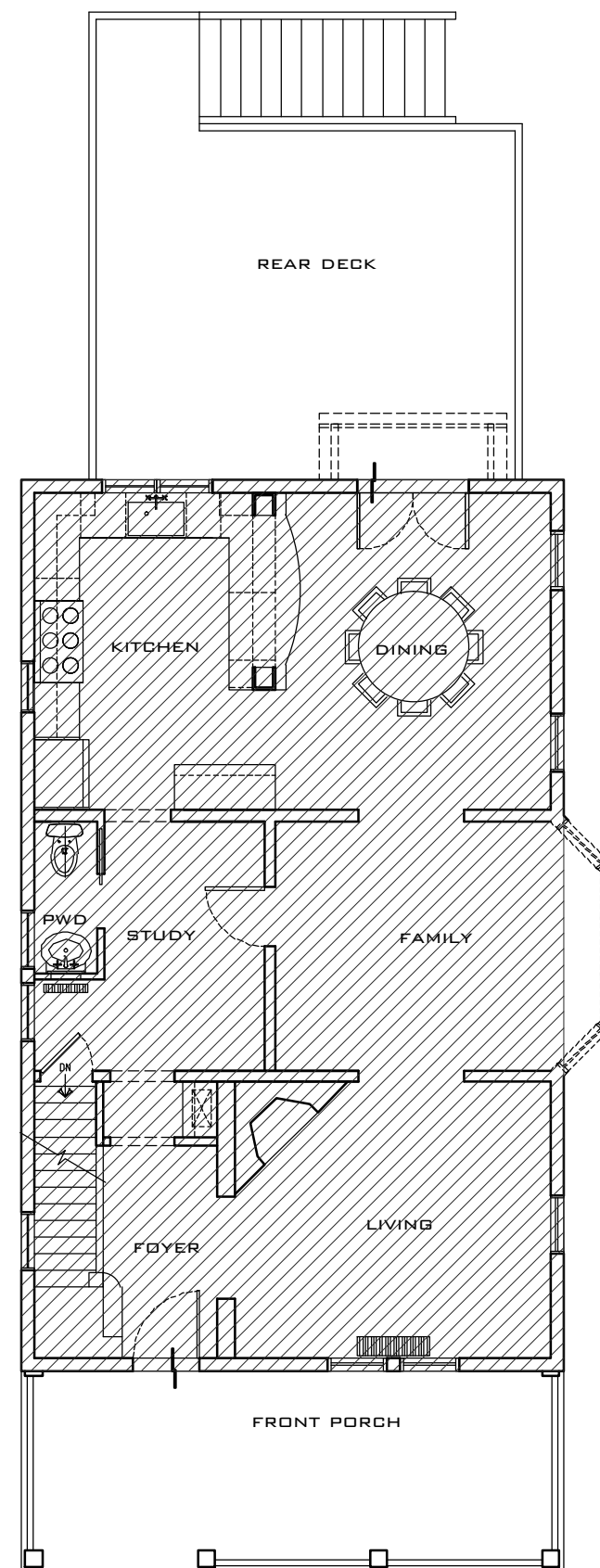
**NEW ELEVATIONS**

**A-1**



**EXISTING BASEMENT PLAN**

Scale: 1/8" = 1'-0"



**EXISTING FIRST FLOOR PLAN**

Scale: 1/8" = 1'-0"

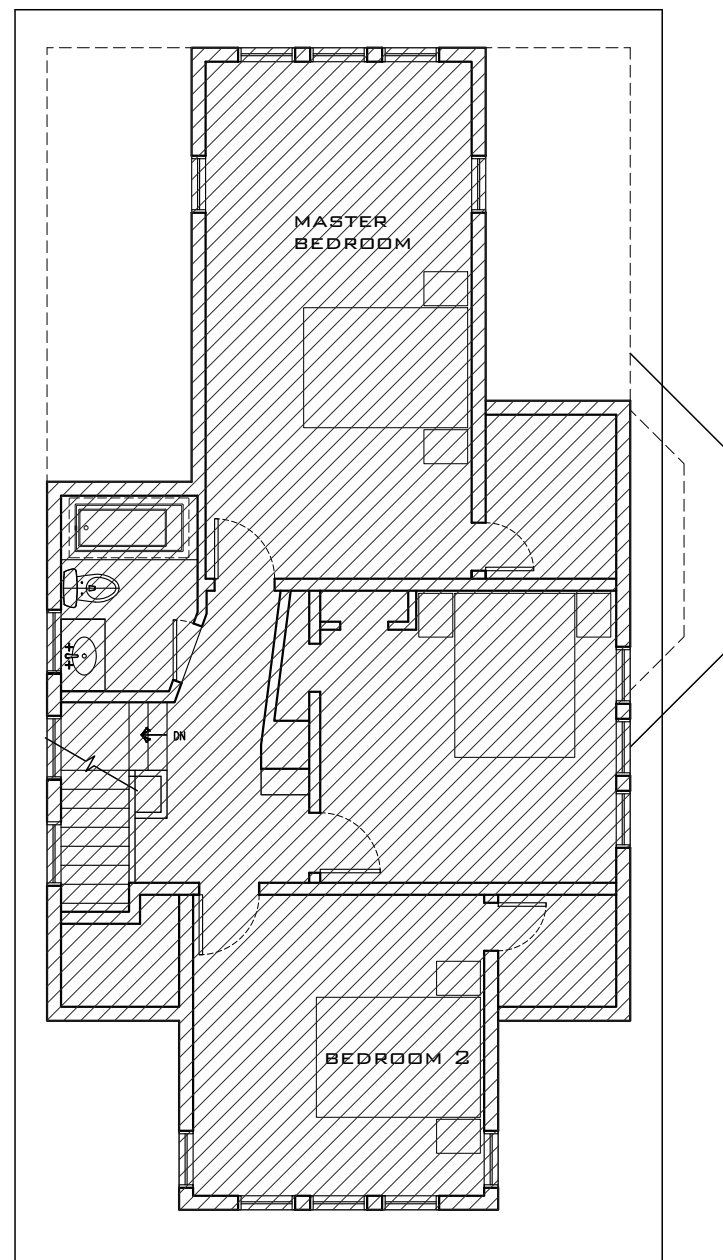
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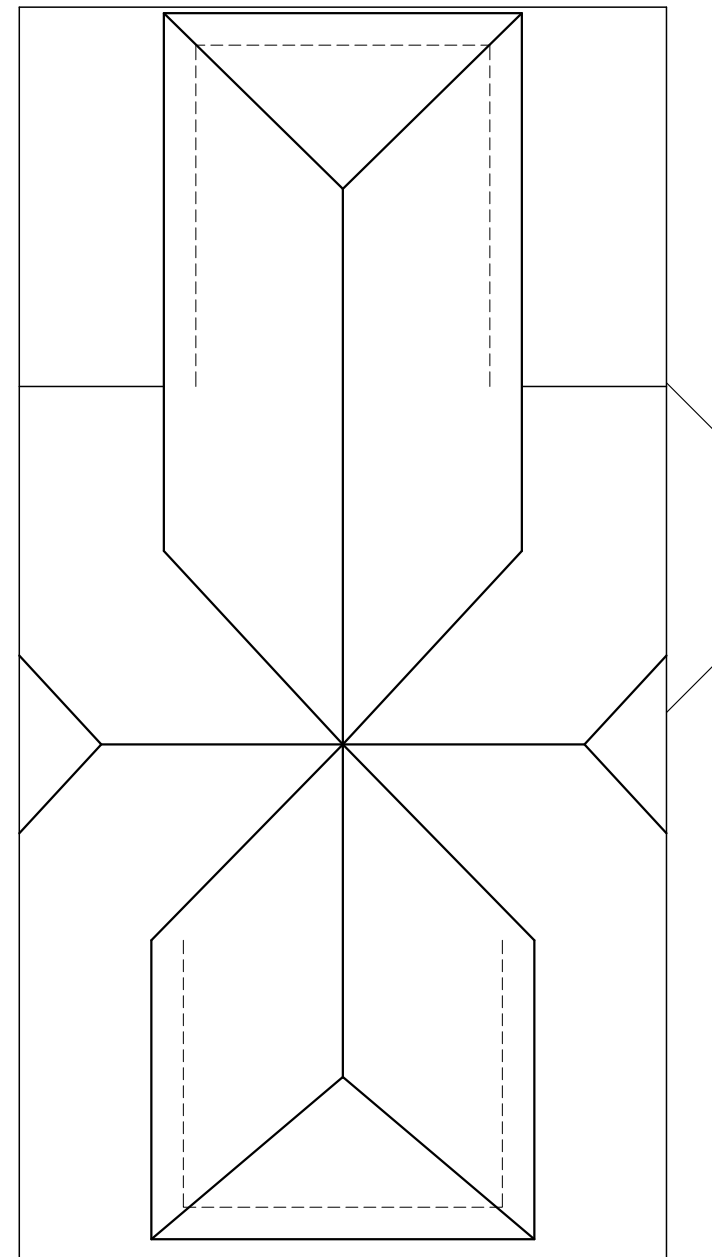
EX PLANS

**A-2**



EXISTING SECOND FLOOR PLAN

Scale: 1/8" = 1'-0"



EXISTING ROOF PLAN

Scale: 1/8" = 1'-0"

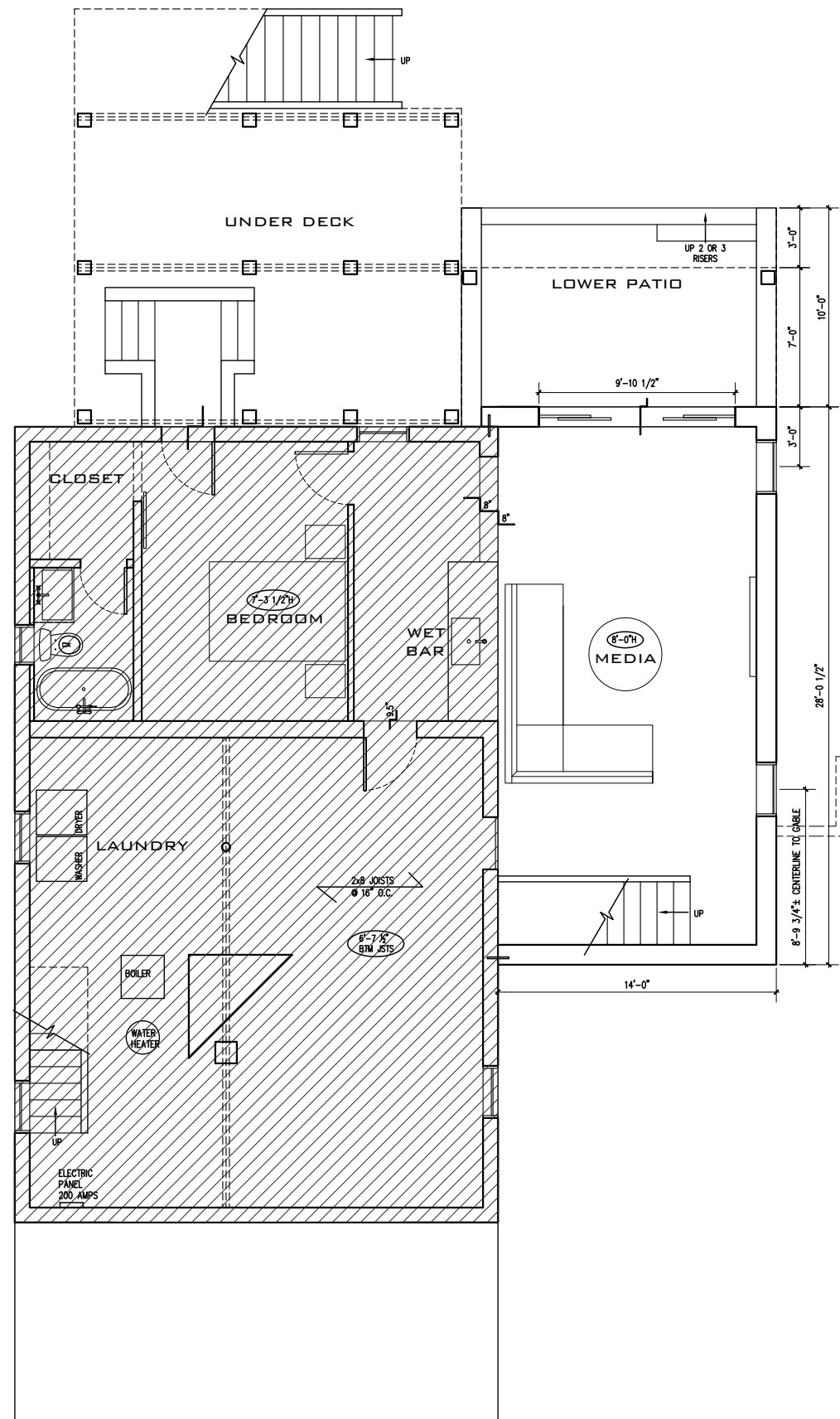
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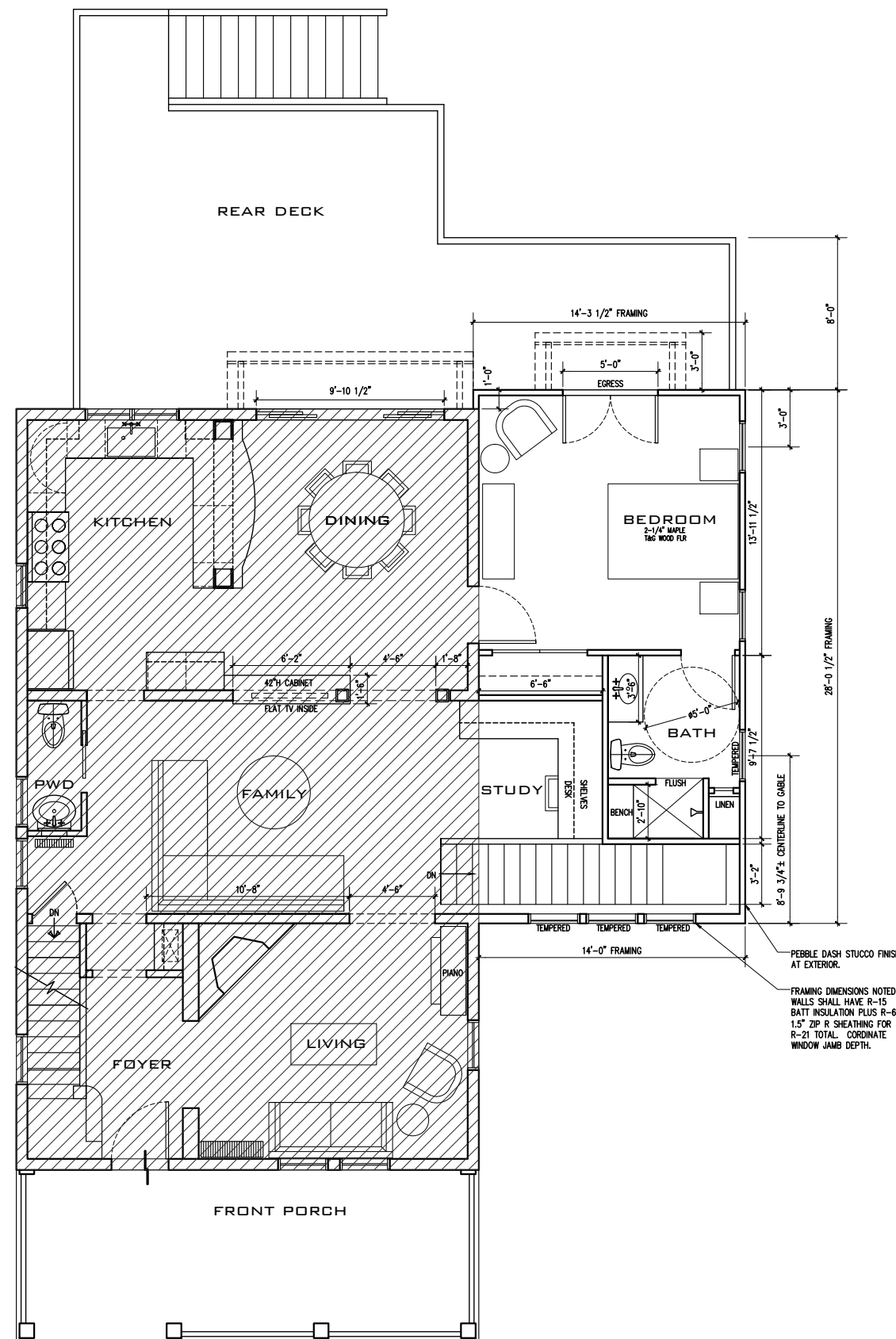
EX PLANS

A-3



NEW BASEMENT PLAN

Scale: 1/8" = 1'-0"



NEW FIRST FLOOR PLAN

Scale: 1/8" = 1'-0"



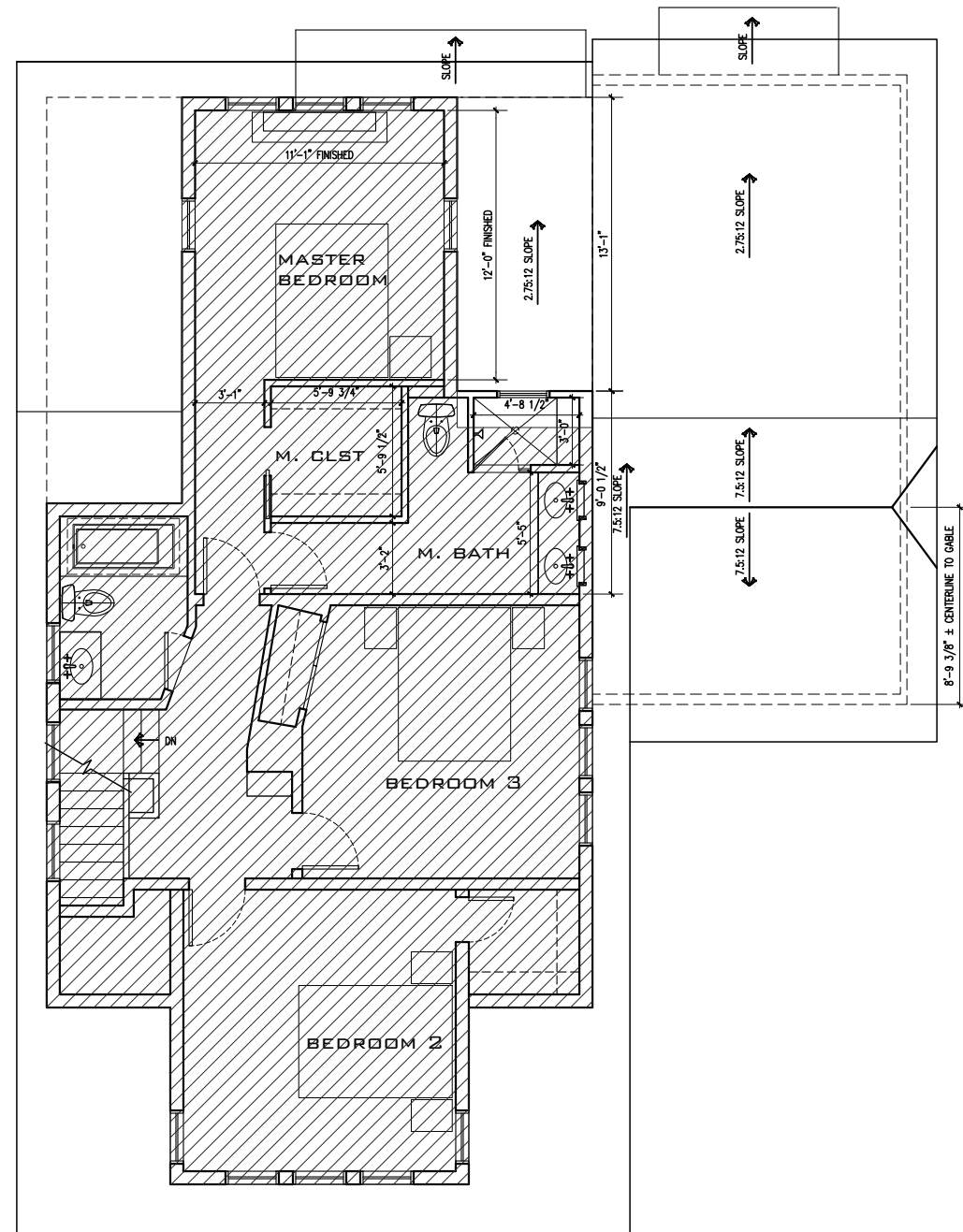
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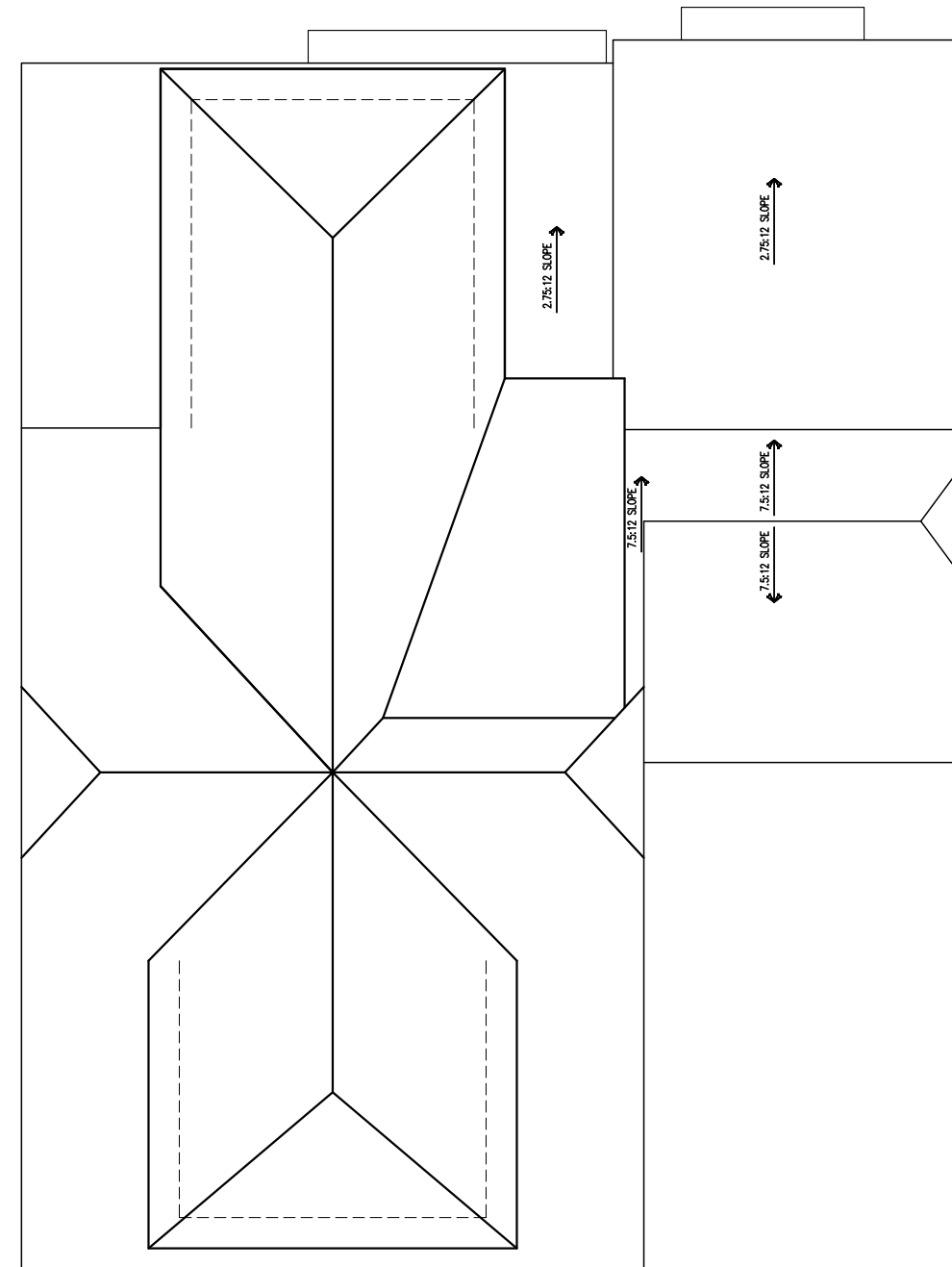
NEW PLANS

A-4



NEW SECOND FLOOR PLAN

Scale: 1/8" = 1'-0"



NEW ROOF PLAN

Scale: 1/8" = 1'-0"



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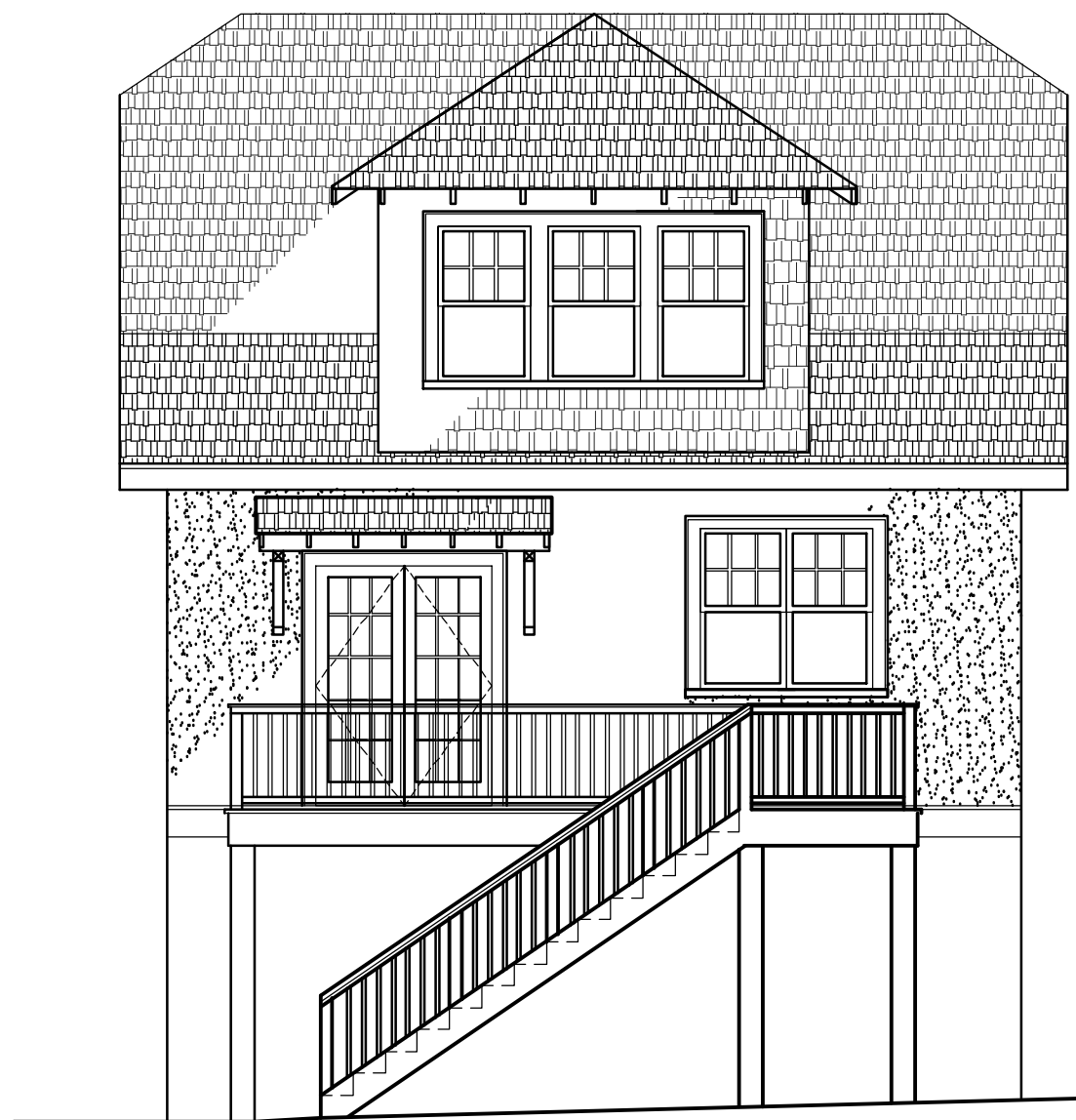
NEW PLANS

A-5



EXISTING WEST FRONT ELEVATION

Scale: 3/16" = 1'-0"



EXISTING EAST REAR ELEVATION

Scale: 3/16" = 1'-0"

THUMMALAPALLY RESIDENCE

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EX. ELEVATIONS

A-6

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**EXISTING SOUTH SIDE ELEVATION**

Scale: 3/16" = 1'-0"

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EX. ELEVATION

**A-7**





NEW WEST FRONT ELEVATION

Scale: 3/16" = 1'-0"

THUMMALAPALLY RESIDENCE

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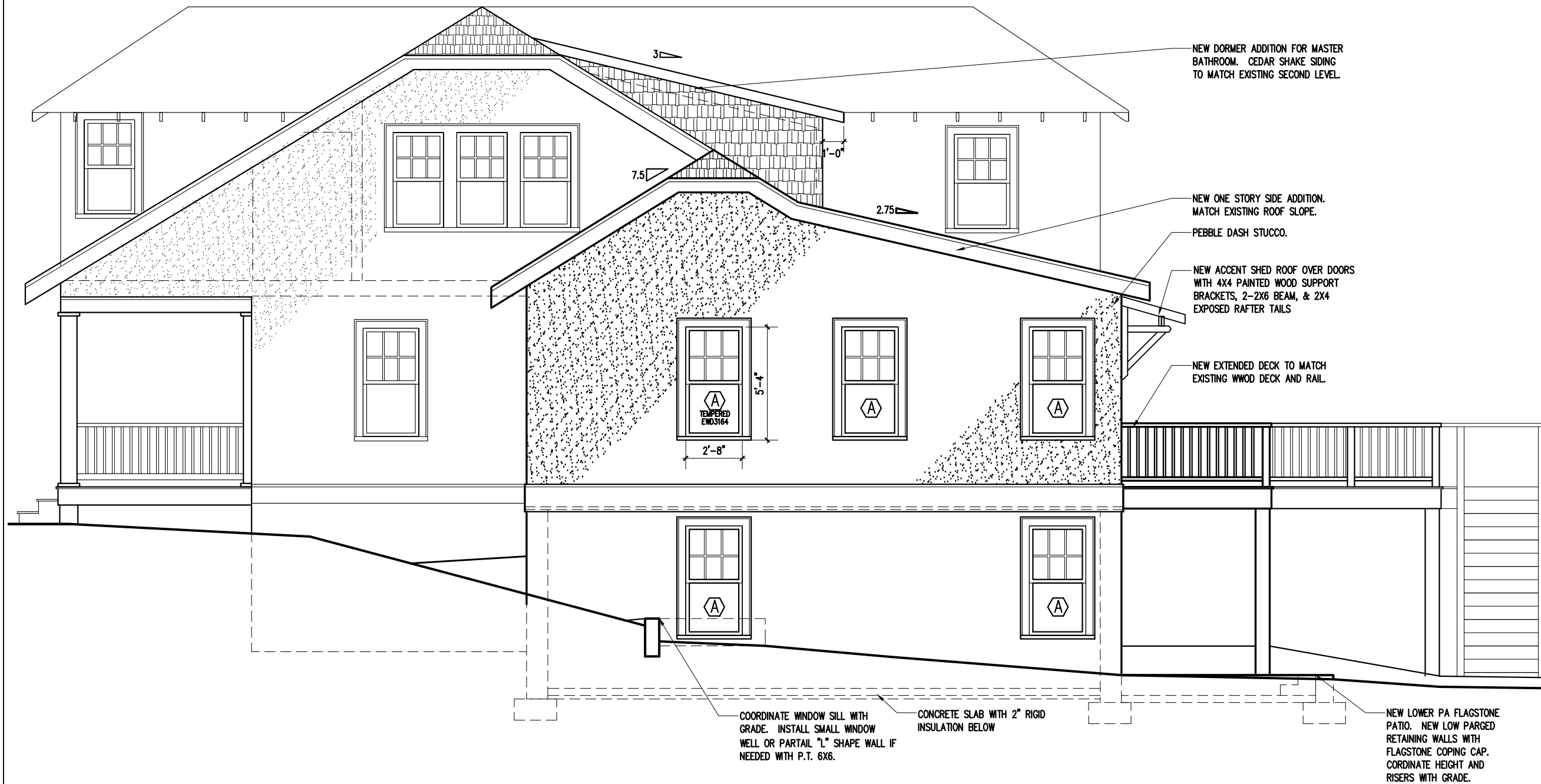
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NEW ELEVATIONS

A-8



**NEW SOUTH SIDE ELEVATION**

Scale: 3/16" = 1'-0"

**THUMMALAPALLY RESIDENCE**

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NEW ELEVATIONS

A-9

NEW DORMER ADDITION FOR MASTER  
BATHROOM. CEDAR SHAKE SIDING  
TO MATCH EXISTING SECOND LEVEL.

NEW ONE STORY SIDE ADDITION.  
MATCH EXISTING ROOF SLOPE.

NEW ACCENT SHED ROOF OVER DOORS  
WITH 4X4 PAINTED WOOD SUPPORT  
BRACKETS, 2-2X6 BEAM, & 2X4  
EXPOSED RAFTER TAILS

PEBBLE DASH TEXTURED STUCCO  
FINISH.

NEW EXTENDED DECK TO MATCH  
EXISTING

NEW PA FLAGSTONE PATIO. NEW  
LOW PARGED RETAINING WALLS WITH  
FLAGSTONE COPING CAP.  
COORDINATE HEIGHT AND RISERS  
WITH GRADE.



**NEW EAST REAR ELEVATION**

Scale: 3/16" = 1'-0"

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NEW ELEVATIONS

**A-10**