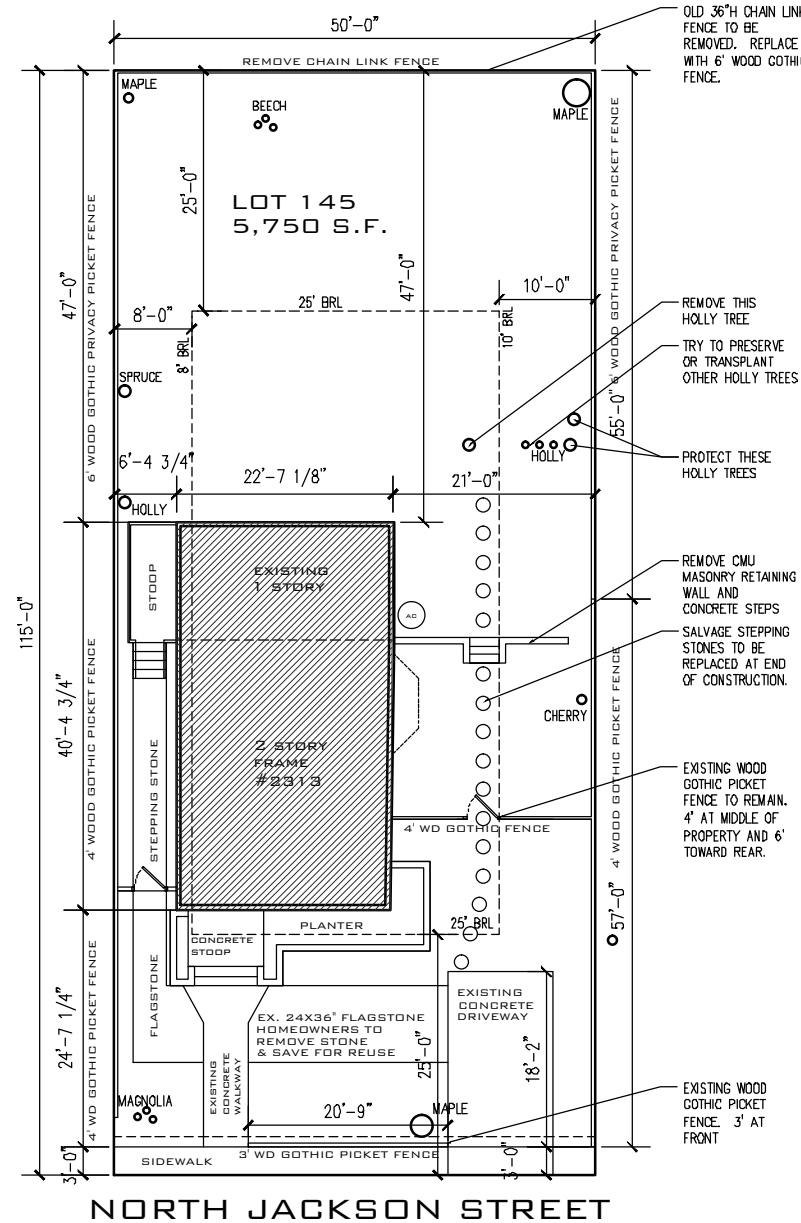


RENOVATION & ADDITION - 2313 North Jackson Street

**FITZHARRIS
DESIGNS**

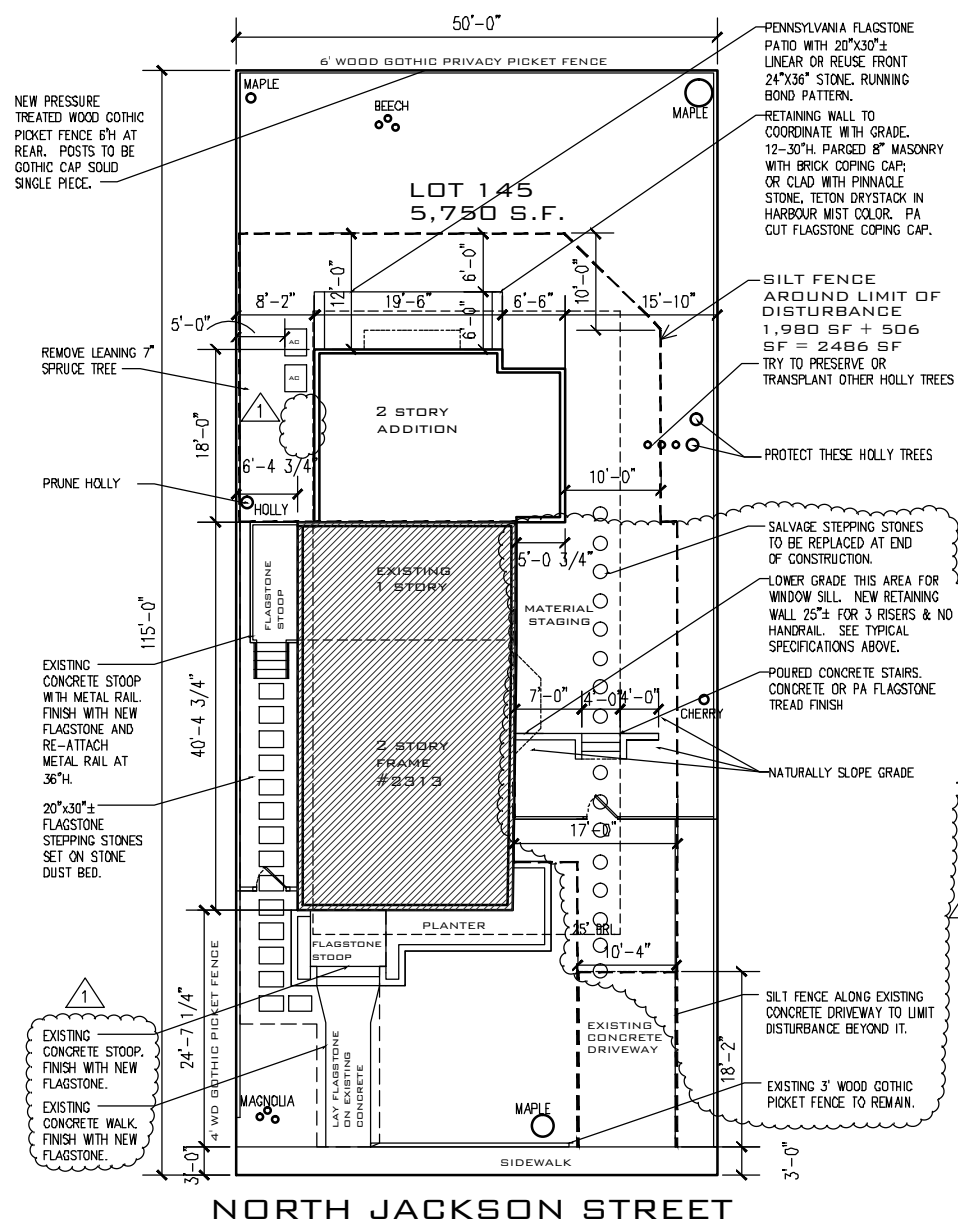
3623 21st Avenue North
Arlington, VA 22207
703.598.9318
heidi@fitzharrisdesigns.com

www.fitzharrisdesigns.com



EXISTING SITE PLAN

Scale: 1/20" = 1'-0"



NEW SITE PLAN

Scale: 1/20" = 1'-0"

PROJECT SCOPE

EXISTING TWO STORY WOOD FRAMED STRUCTURE FROM 1920 IS LOCATED IN THE HISTORIC MAYWOOD NEIGHBORHOOD. PROJECT DEMOLITION SHALL INCLUDE ALTERATION OF REAR ONE STORY ADDITION ROOF LINE. NEW PROJECT SCOPE SHALL INCLUDE A TWO STORY ADDITION AT REAR. NEW ADDITION SHALL BE DISTINCT FROM ORIGINAL IN STEPPED MASSING AND MATERIALS.

CONSTRUCTION TO FOLLOW 2012 IRC AND VIRGINIA UNIFORM STATEWIDE BUILDING CODE 2012.

PROJECT CALCULATIONS

EXISTING FIRST LEVEL	929 SF
EXISTING SECOND LEVEL	635 SF
ADDITION TO FIRST LEVEL	475 SF
ADDITION TO SECOND LEVEL	706 SF
TOTAL COND. MAIN HOUSE	2,745 SF
EXISTING FRONT STOOP	60 SF
EXISTING SIDE STOOP	76 SF

SITE CALCULATIONS

ZONE R6 ALLOWED LOT COVERAGE: 40%, 43% W/ FRONT PORCH; 48% W/REAR DETACHED GARAGE AND PORCH.	
LOT SIZE	5,750 SF
MAIN BUILDING FOOTPRINT	1,404 SF
EXISTING FRONT STOOP	60 SF
EXISTING SIDE STOOP	76 SF
DRIVEWAY	340 SF
TOTAL PROPOSED COVERAGE	1,880 SF
COVERAGE DIVIDED BY LOT SIZE= 32.69%	

DRAWING INDEX

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PH EXISTING PHOTOGRAPHS	A-11 NEW ELEVATION
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LEWIS-WYATT RESIDENCE

2313 North Jackson Street
Arlington, VA 22201
Renovation & Addition

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HALRB	2014.08.11
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COVER SHEET

C-S

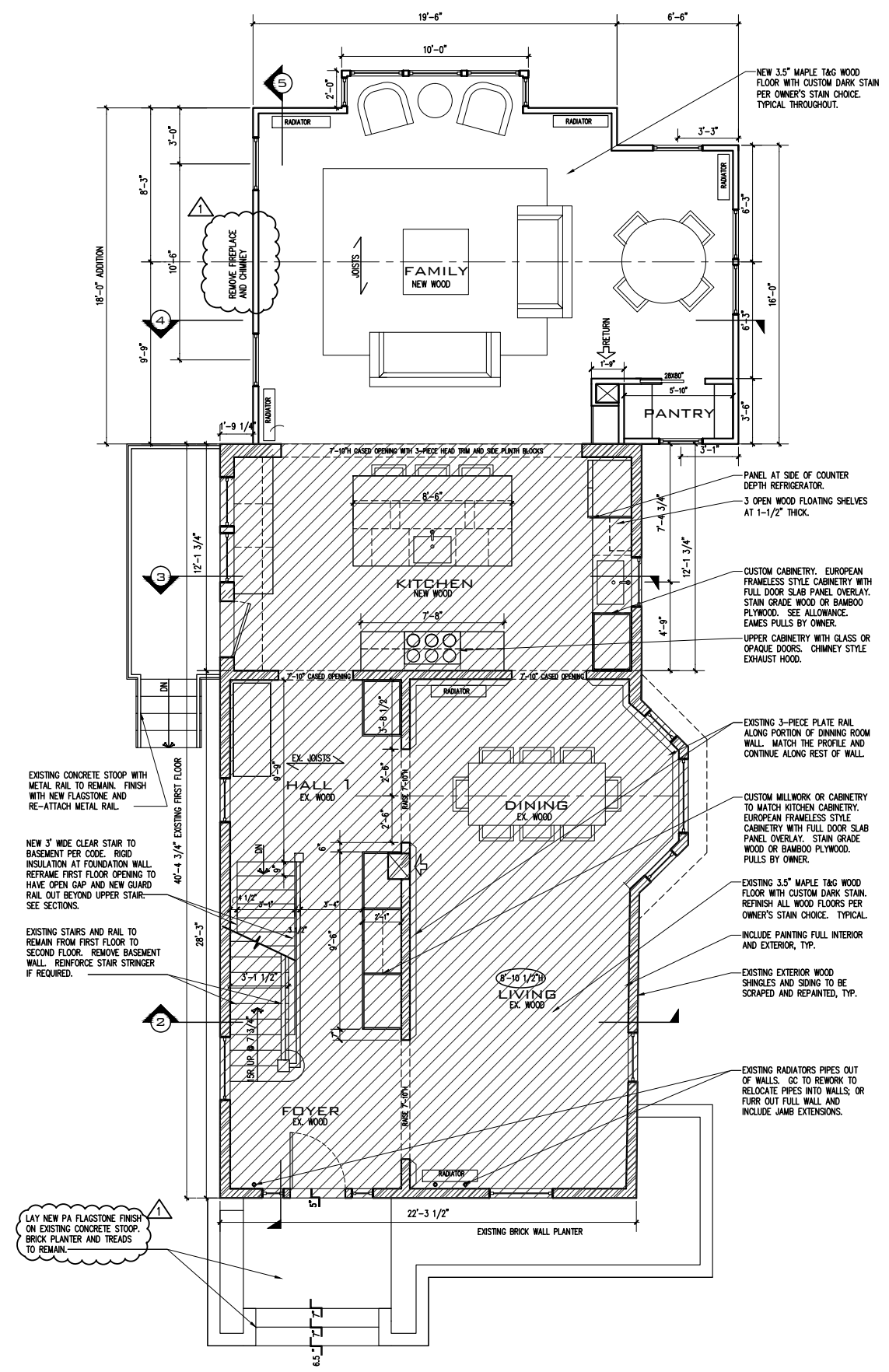
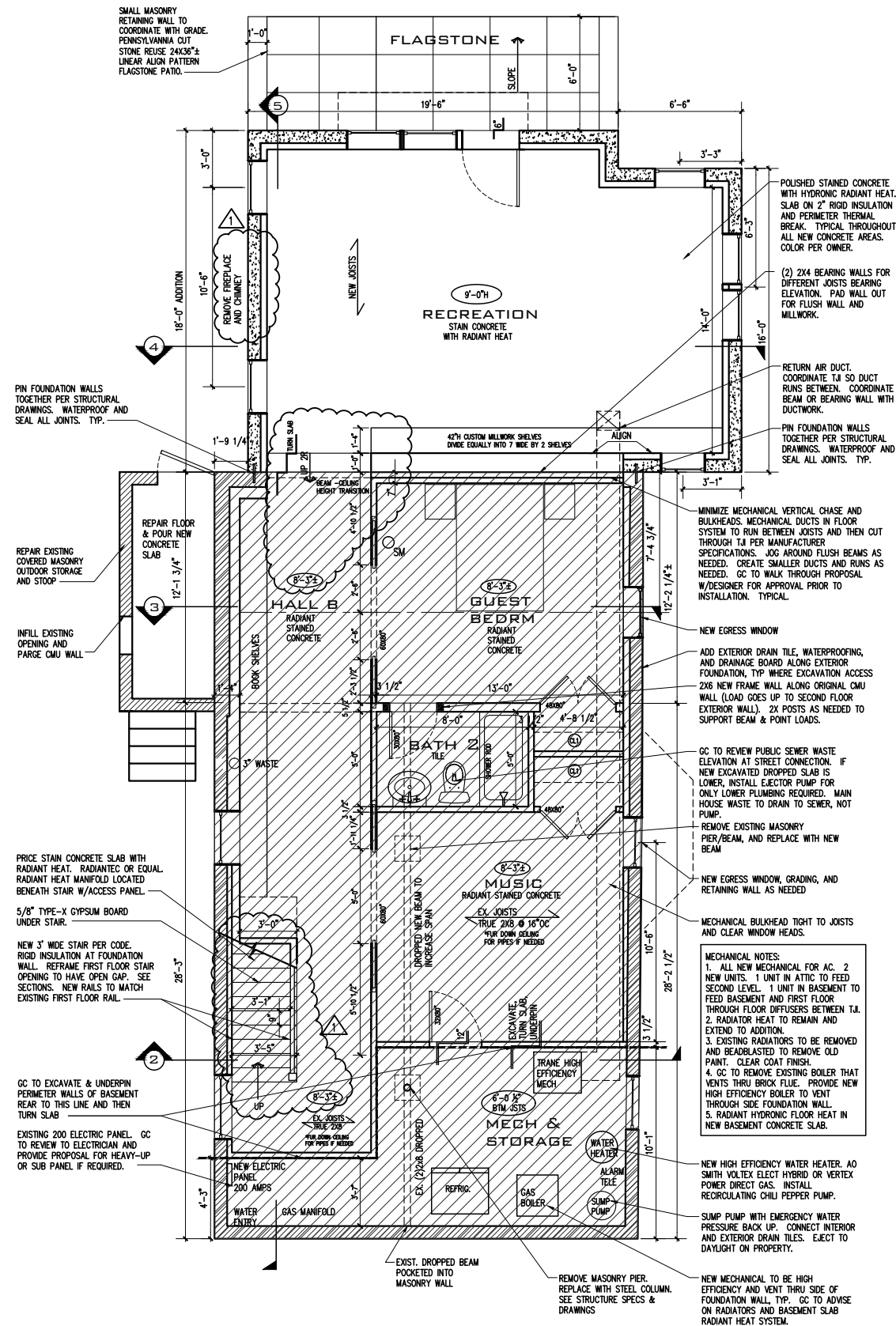
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NEW PLANS

A-3



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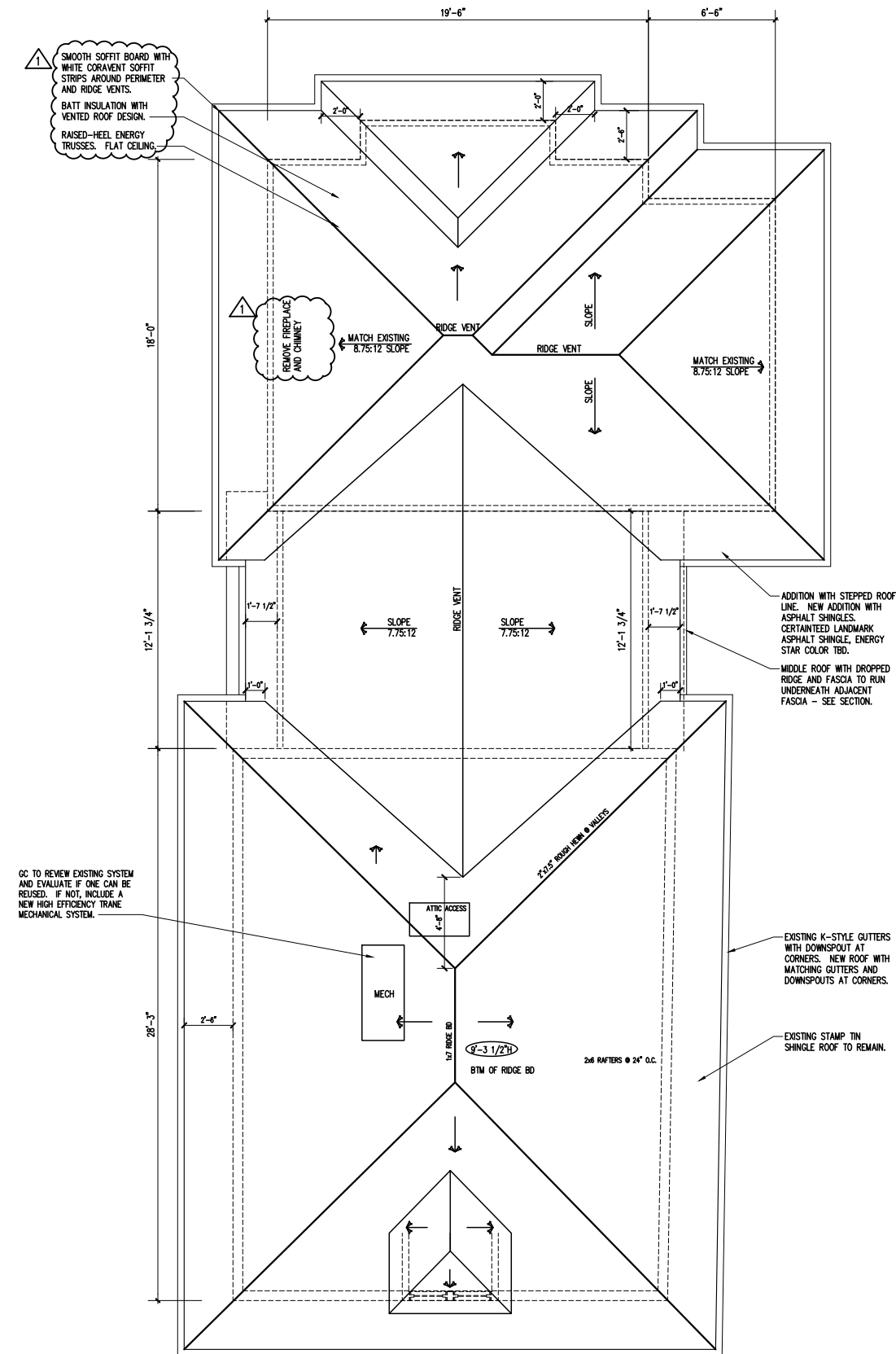
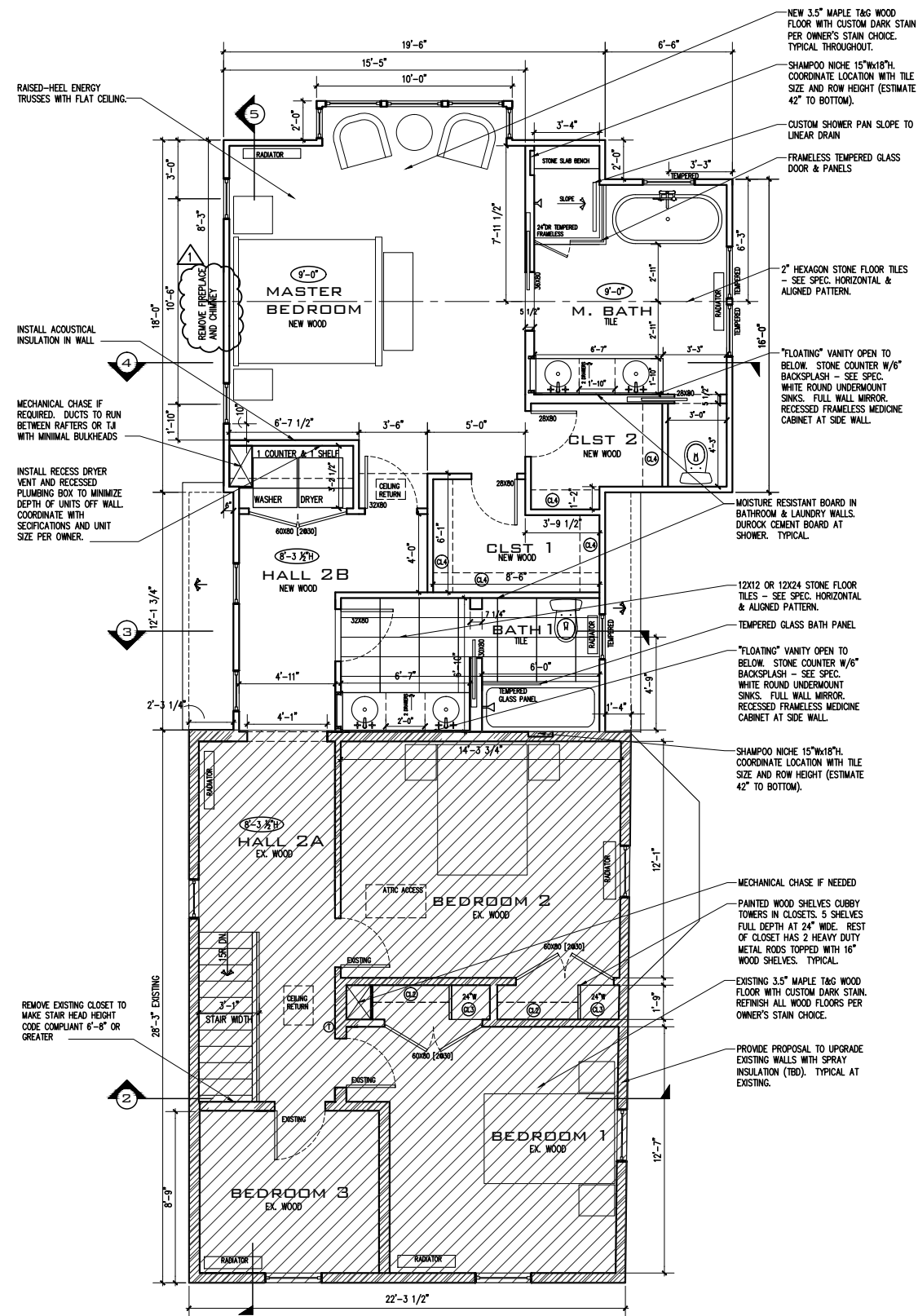
2313 North Jackson Street
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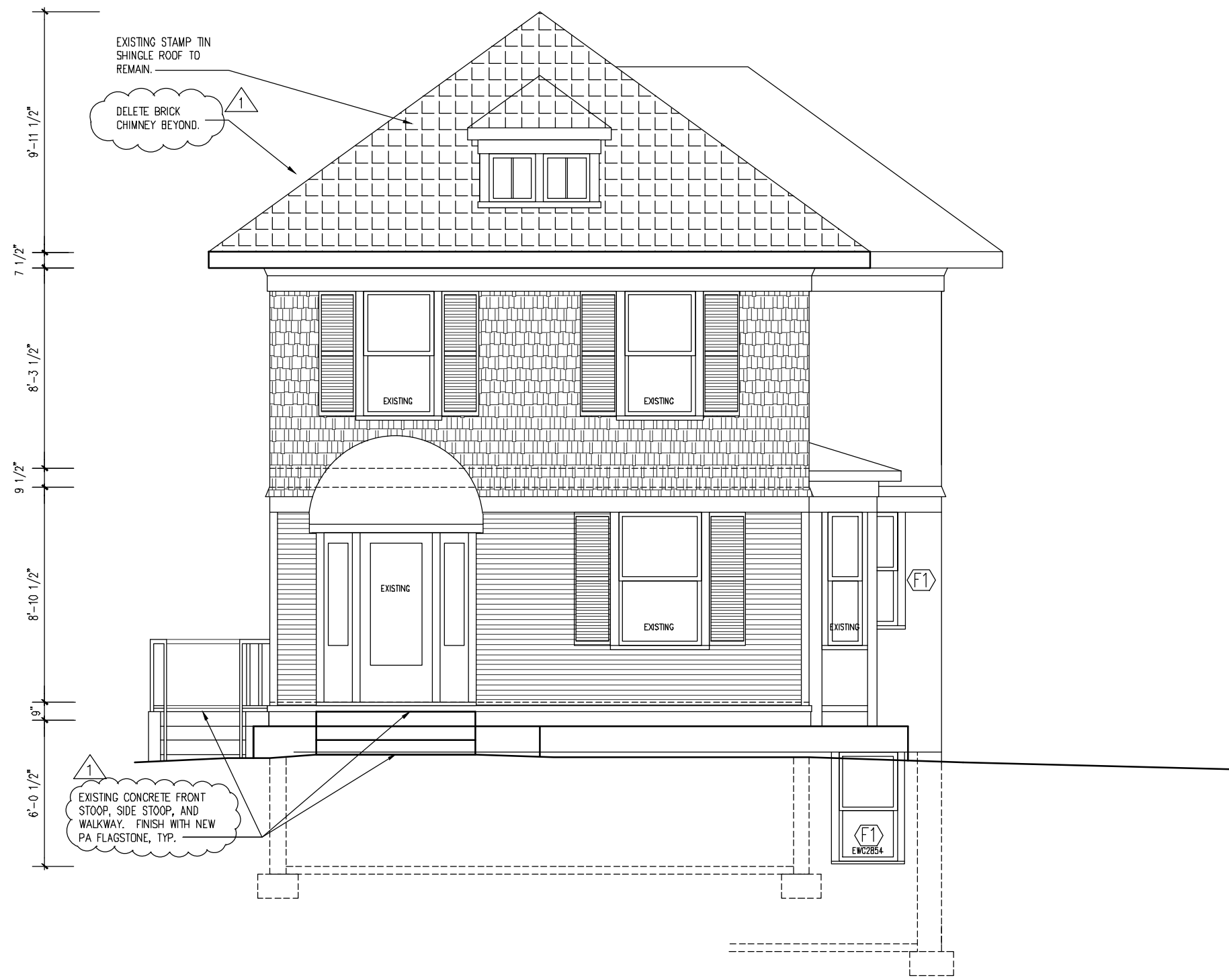
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NEW PLANS

A-4





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NEW ELEVATION

A-8

NEW WEST FRONT ELEVATION

Scale: 3/16" = 1'-0"

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NEW ELEVATION

A-9

TYPICAL EXTERIOR SPECIFICATIONS FOR ADDITION:

*5/4 SOLID MILLABLE AZEK FOR PAINTED TRIM BOARDS.

NEW ASPHALT SHINGLE ROOF. CERTAINTED LANDMARK. COLOR TO BE SELECTED BY OWNER.

REMOVE PROJECTING FIREPLACE AND BRICK CHIMNEY.

TWO PIECE FRIEZE TRIM TO MATCH EXISTING; 5/4 BOARD WITH CROWN.

K-STYLE GUTTERS TO MATCH EXISTING. DOWNSPOUTS AT CORNERS AS NEEDED. LEADERS BELOW GRADE TO DRAIN TO DAYLIGHT ON SITE.

ALL SIDING ON ADDITION TO BE FIBER CEMENT SMOOTH LAP SIDING. JAMES HARDIE OR SIMILAR.

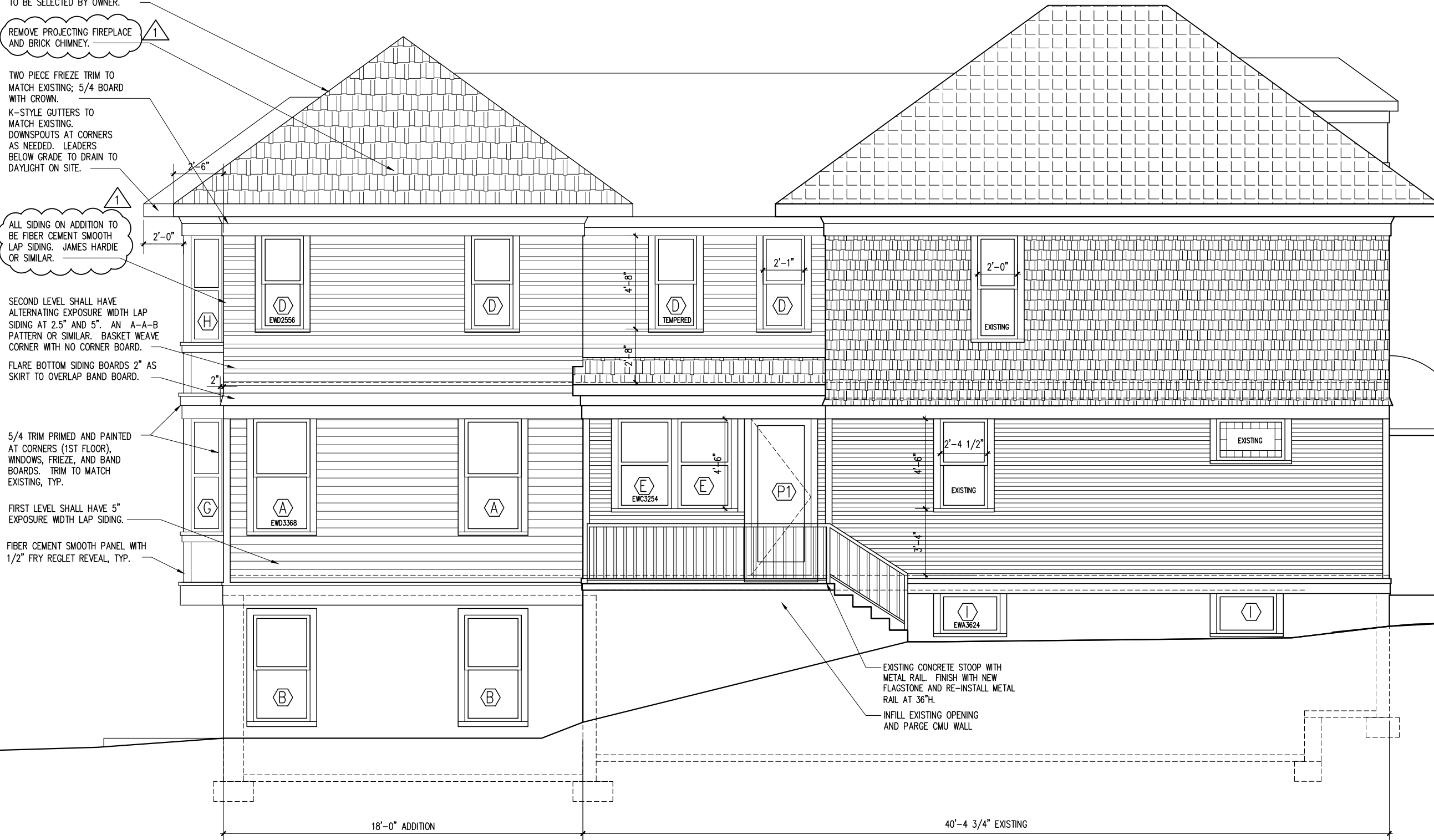
SECOND LEVEL SHALL HAVE ALTERNATING EXPOSURE WIDTH LAP SIDING AT 2.5" AND 5". AN A-A-B PATTERN OR SIMILAR. BASKET WEAVE CORNER WITH NO CORNER BOARD.

FLARE BOTTOM SIDING BOARDS 2" AS SKIRT TO OVERLAP BAND BOARD.

5/4 TRIM PRIMED AND PAINTED AT CORNERS (1ST FLOOR), WINDOWS, FRIEZE, AND BAND BOARDS. TRIM TO MATCH EXISTING, TYP.

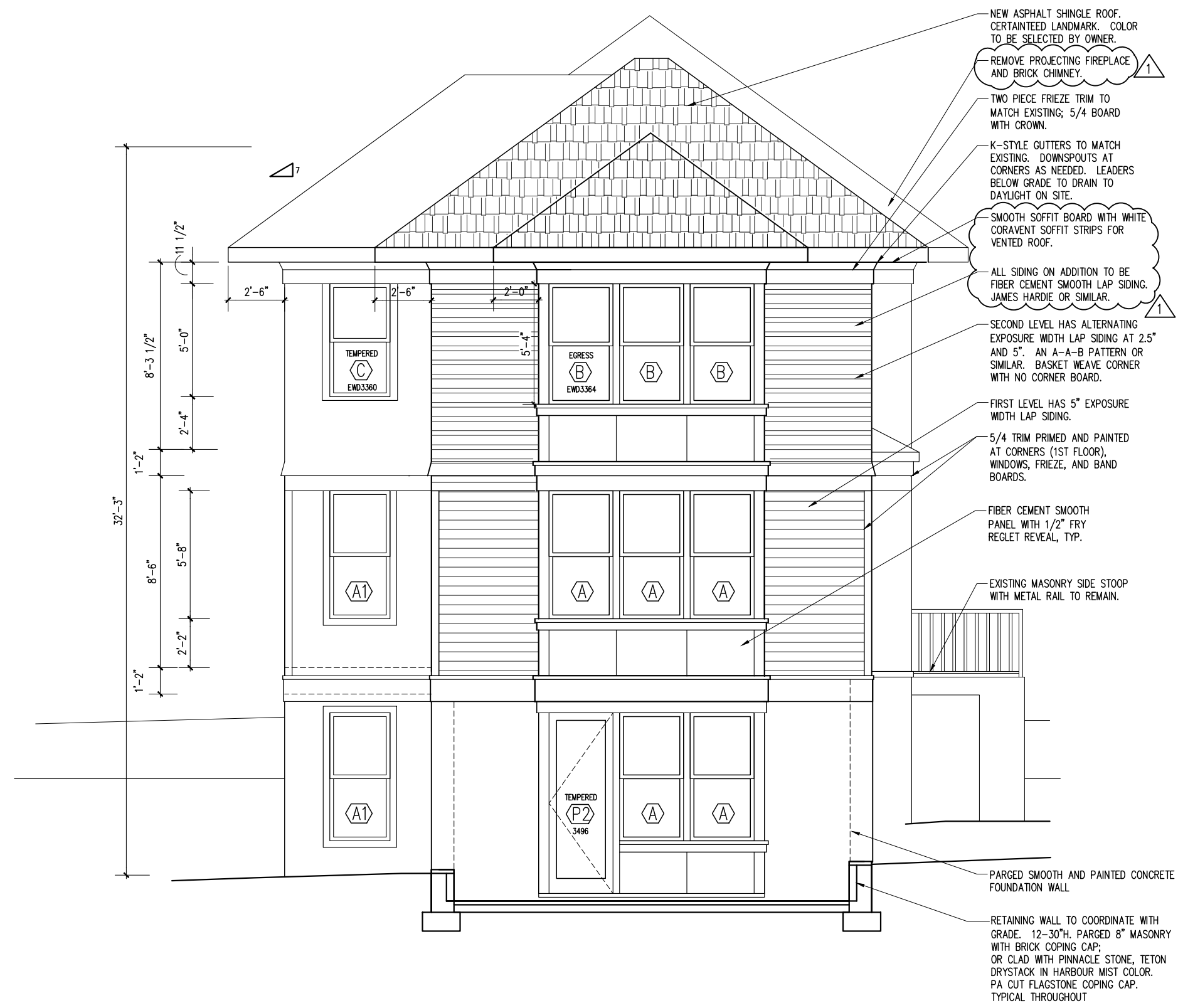
FIRST LEVEL SHALL HAVE 5" EXPOSURE WIDTH LAP SIDING.

FIBER CEMENT SMOOTH PANEL WITH 1/2" FRY REGLET REVEAL, TYP.



NEW NORTH SIDE ELEVATION

Scale: 3/16" = 1'-0"



TYPICAL EXTERIOR SPECIFICATIONS FOR ADDITION:
*5/4 SOLID MILLABLE AZEK FOR PAINTED TRIM BOARDS.

NEW ASPHALT SHINGLE ROOF. CERTAINTED LANDMARK. COLOR TO BE SELECTED BY OWNER.

REMOVE PROJECTING FIREPLACE AND BRICK CHIMNEY.

TWO PIECE FRIEZE TRIM TO MATCH EXISTING; 5/4 BOARD WITH CROWN.

K-STYLE GUTTERS TO MATCH EXISTING. DOWNSPOUTS AT CORNERS AS NEEDED. LEADERS BELOW GRADE TO DRAIN TO DAYLIGHT ON SITE.

SMOOTH SOFFIT BOARD WITH WHITE CORAVENT SOFFIT STRIPS FOR VENTED ROOF.

ALL SIDING ON ADDITION TO BE FIBER CEMENT SMOOTH LAP SIDING. JAMES HARDIE OR SIMILAR.

SECOND LEVEL HAS ALTERNATING EXPOSURE WIDTH LAP SIDING AT 2.5" AND 5". AN A-A-B PATTERN OR SIMILAR. BASKET WEAVE CORNER WITH NO CORNER BOARD.

FIRST LEVEL HAS 5" EXPOSURE WIDTH LAP SIDING.

5/4 TRIM PRIMED AND PAINTED AT CORNERS (1ST FLOOR), WINDOWS, FRIEZE, AND BAND BOARDS.

FIBER CEMENT SMOOTH PANEL WITH 1/2" FRY REGLET REVEAL, TYP.

EXISTING MASONRY SIDE STOOP WITH METAL RAIL TO REMAIN.

PARGED SMOOTH AND PAINTED CONCRETE FOUNDATION WALL

RETAINING WALL TO COORDINATE WITH GRADE. 12-30"H. PARGED 8" MASONRY WITH BRICK COPING CAP; OR CLAD WITH PINNACLE STONE, TETON DRYSTACK IN HARBOUR MIST COLOR. PA CUT FLAGSTONE COPING CAP. TYPICAL THROUGHOUT

NEW EAST REAR ELEVATION

Scale: 3/16" = 1'-0"

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NEW ELEVATION

A-10

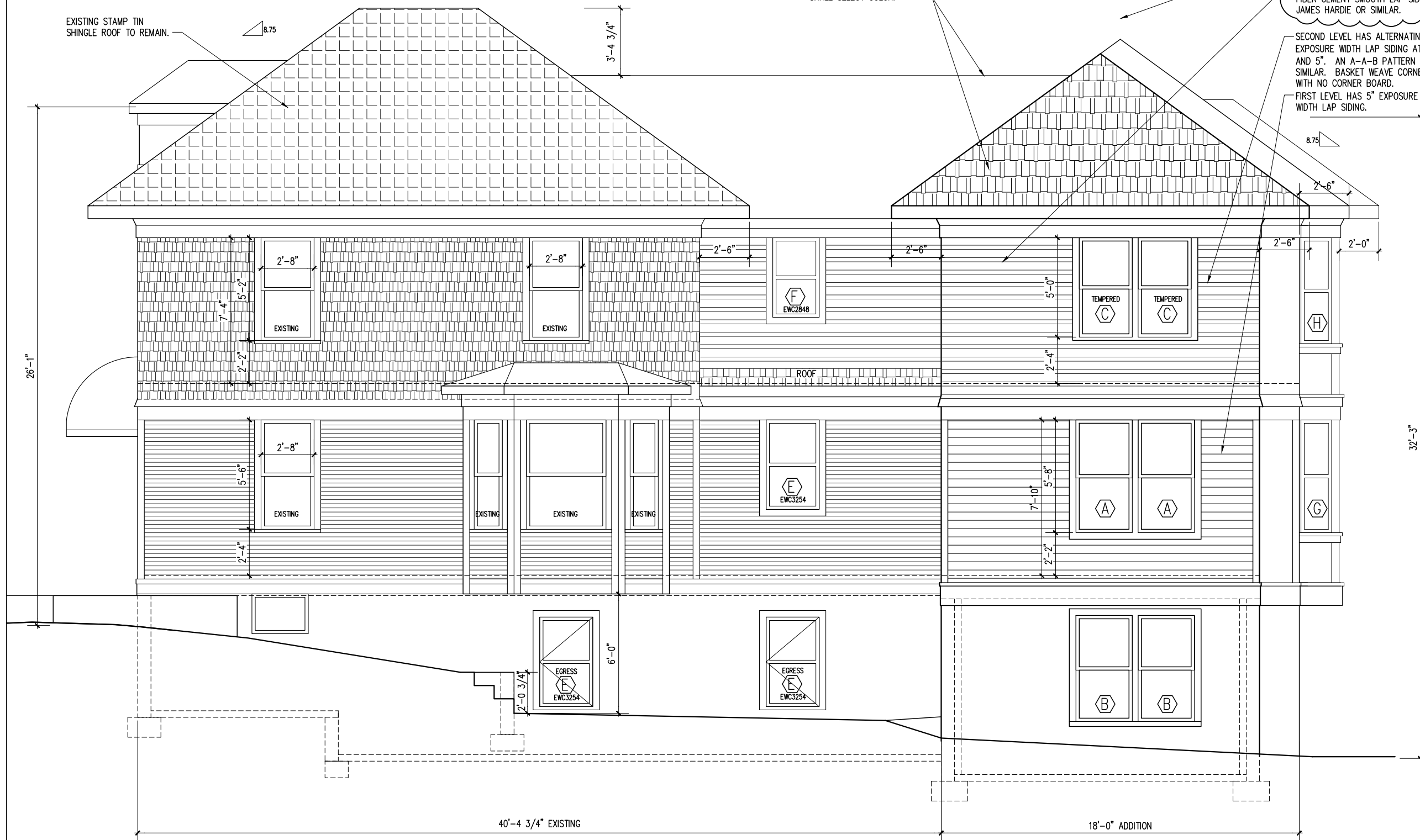
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NEW ELEVATION

A-11



NEW ASPHALT SHINGLE ROOF. CERTAINEED LANDMARK. OWNER SHALL SELECT COLOR.

1 REMOVE PROJECTING FIREPLACE AND BRICK CHIMNEY.
ALL SIDING ON ADDITION TO BE FIBER CEMENT SMOOTH LAP SIDING. JAMES HARDIE OR SIMILAR.

SECOND LEVEL HAS ALTERNATING EXPOSURE WIDTH LAP SIDING AT 2.5\"/>

NEW SOUTH SIDE ELEVATION

Scale: 3/16" = 1'-0"