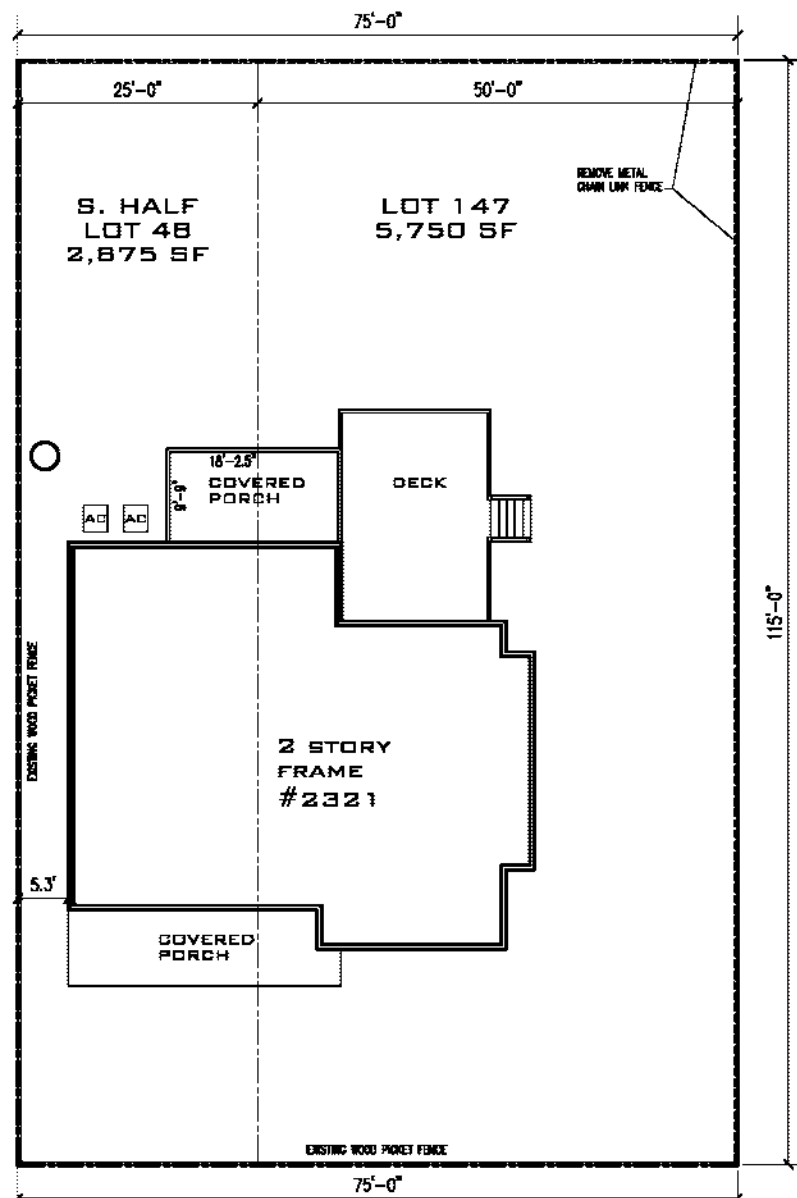


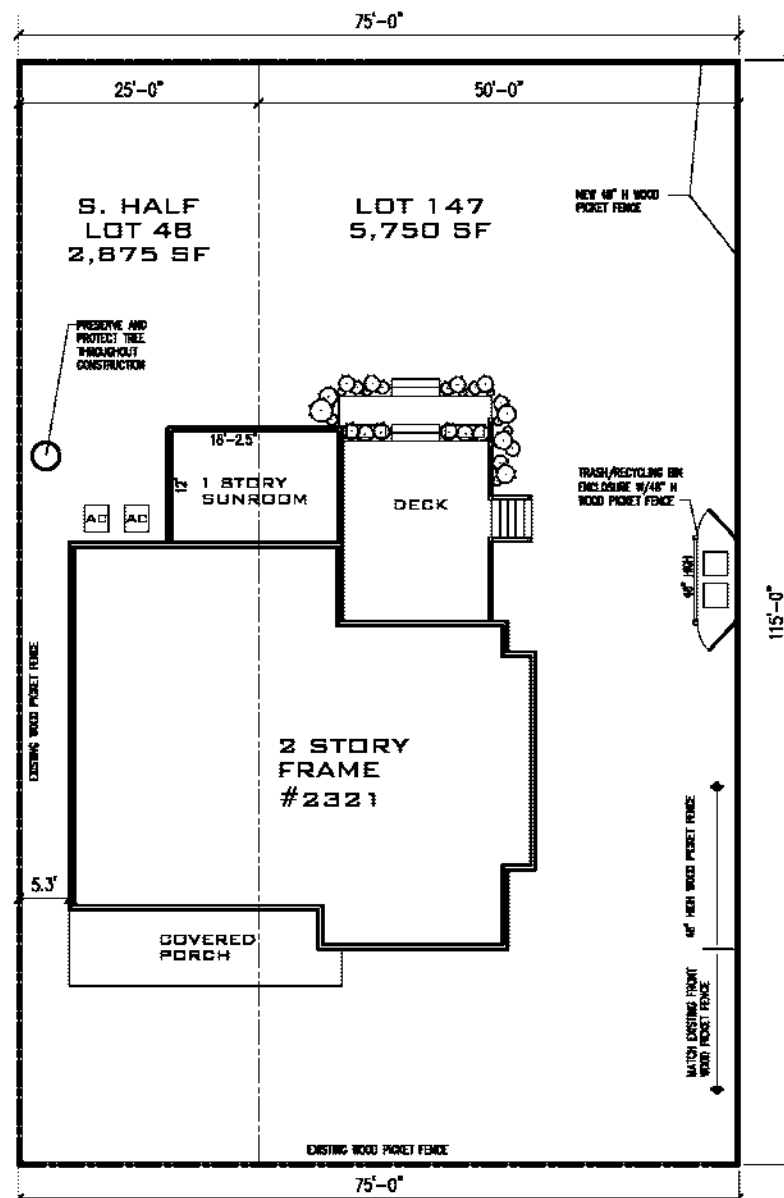
RENOVATION / ADDITION - 32321 North Jackson Street



NORTH JACKSON STREET

EXISTING SITE PLAN

Scale: 1" = 20'



NORTH JACKSON STREET

NEW SITE PLAN

Scale: 1" = 20'

PROJECT SCOPE

EXISTING TWO STORY WOOD FRAMED STRUCTURE FROM 1915 IS LOCATED IN THE HISTORIC MAYWOOD NEIGHBORHOOD. PROJECT DEMOLITION SHALL INCLUDE REMOVING REAR COVERED PORCH AND PORTION OF DECK. NEW PROJECT SCOPE SHALL INCLUDE A NEW ONE STORY SUN ROOM ADDITION, TERRACED DECK, AND SELECT NEW WINDOWS. WOOD SIDING, TRIM, PANELS, AND WINDOWS TO MATCH EXISTING. NEW LOW SLOPE ROOF WITH STANDING SEAM METAL ROOFING.

CONSTRUCTION TO FOLLOW 2009 IRC AND VIRGINIA UNIFORM STATEWIDE BUILDING CODE 2009.

PROJECT CALCULATIONS

SITE CALCULATIONS

ZONE 6 ALLOWED 43% MAXIMUM COVERAGE W/
FRONT PORCH.
LOT SIZE ASSESSED 8,625 SF

MAIN BUILDING FOOTPRINT	1,752 SF
SUNROOM ADDITION	218 SF
FRONT PORCH	214 SF
DECK	365 SF
TOTAL PROPOSED COVERAGE	2,549 SF

COVERAGE DIVIDED BY LOT SIZE= 29.5%

DRAWING INDEX

- C-S COVERSHEET
- A-1 NOTES & SCHEDULES
 - A-2 EXISTING PLANS
 - A-3 NEW PLANS
 - A-4 EXISTING ELEVATION
 - A-5 EXISTING ELEVATION
 - A-6 EXISTING ELEVATION
 - A-7 NEW ELEVATION
 - A-8 NEW ELEVATION
 - A-9 NEW ELEVATION

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COVER SHEET

C-S

ARLINGTON ZONING

- ARLINGTON ZONE R-6 RESTRICTIONS:
MAIN RESIDENCE:
25' FRONT SETBACK
10' or 8' SIDE SETBACK - BOTH SHALL NOT BE LESS THAN 30% OF REQUIRED WIDTH.
25' REAR SETBACK
35' HEIGHT RESTRICTION; AVERAGE OF 4 CORNERS
- ACCESSORY STRUCTURE < 2 STOREYS, INCLUDING 1-1/2:
1' REAR & SIDE SETBACK
560 SF MAXIMUM
(GARAGES MUST HAVE 1-HOUR RATED FIREWALL IF WITHIN 5' OF PROPERTY LINE)
- EXCEPTIONS TO RESTRICTIONS:
OPEN PORCHES & STAIR WAY ENCROACH 4' AT FRONT
CHIMNEY MAY ENCROACH 18" AT SIDE

BUILDING PLANNING

- DESIGN CRITERIA SHALL BE:
GROUND SNOW LOAD 25 PSF
WIND SPEED 90 MPH (3 SECOND GUST)
SEISMIC ZONE: S₀=19%g S₁=7%g
MAXIMUM RAIN FALL 3.2 IN/HR
FROST LINE DEPTH 24"
- MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
ATTICS W/STORAGE 20 PSF
ATTICS W/O STORAGE 10 PSF
DECKS 40 PSF
EXTERIOR BALCONIES 60 PSF
PASSENGER VEHICLE GARAGES (GRADE) 50 PSF
ROOMS OTHER THAN SLEEPING 40 PSF
SLEEPING ROOMS 30 PSF

GENERAL CODE & PLANNING NOTES

- GLAZING SHALL BE TEMPERED ACCORDING TO IRC 2006 R308.4 HAZARDOUS LOCATIONS. INCLUDES BATHROOMS WHEN GLAZING IS LESS THAN 60" VERTICALLY FROM FLOOR, STAIRS WHEN GLAZING IS LESS THAN 60" VERTICALLY AND HORIZONTALLY FROM ANY TREADS, AND ANY WINDOW WHERE THE GLAZING IS LESS THAN 18" ABOVE FINISHED FLOOR.
- BATHROOM MIN. CLEARANCES AT FIXTURES:
- WATER CLOSET AT 16" FROM C.L. TO WALL/TUB, 4" SIDE CLEARANCE TO LAVATORIES, AND 21" IN FRONT.
- SHOWER MINIMUM DIMENSION IS 30"x30" WITH 24" CLEARANCE IN FRONT.
- LAVATORIES REQUIRE 4" CLEAR ON SIDES.
- STAIR SHALL BE CONSTRUCTED PER VIRGINIA USBC 2006. 8-1/4" MAXIMUM RISER HEIGHT AND 9" MINIMUM TREAD DEPTH. HANDRAIL 34"-38" HEIGHT MEASURED VERTICALLY FROM NOSING OF THE TREAD. 6"-8" MINIMUM HEADROOM. 36" MINIMUM WIDTH ABOVE RAIL; HANDRAIL MAY PROJECT 4.5" ON EITHER SIDE.
- SLEEPING ROOMS AND HABITABLE BASEMENTS SHALL BE PROVIDED MEANS OF EGRESS THROUGH SIZED WINDOW/DOOR W/SILL LESS THAN 44" A.F.F.
- WOOD PROTECTION: WOOD JOISTS CLOSER THAN 18" OR GIRDERS CLOSER THAN 12" TO GROUND, ALL WOOD WITHIN 6" OF GROUND, AND ALL WOOD IN CONTACT W/CONCRETE/CMU MUST BE P.T. FOR DECAY. IRC R319.
- PLUMBING FIXTURES TO COMPLY WITH CODES. 1.6 GPF TOILET. SHOWER TO HAVE PRESSURE BALANCE FAUCET MINIMUM OR THERMOSTATIC CONTROL.
- SMOKE ALARMS SHALL BE INSTALLED IN ALL SLEEPING ROOMS, IMMEDIATE VICINITY OUTSIDE SLEEPING ROOMS, AND EACH LEVEL. HARDWARE AND INTERCONNECT. LOCATIONS ON ELECTRICAL PLANS.

GENERAL DEMOLITION NOTES

- REMOVE WALLS, DOORS, FINISHES, FIXTURES, AND CABINETS AS NOTED. PREPARE FOR NEW WALL FRAMING PER NEW DESIGN INTENT AND FINISHES.
- TEMPORARILY BRACE AND REINFORCE STRUCTURE AS REQUIRED. INSTALL NEW BEAMS AND POSTS FOR NEW DESIGN INTENT - SEE STRUCTURAL DRAWINGS.
- RELOCATE MECHANICAL DUCTS AND VENTS AS REQUIRED FOR NEW DESIGN INTENT.
- RELOCATE PLUMBING AS REQUIRED FOR NEW DESIGN.
- SALVAGE MATERIALS, APPLIANCE, FIXTURES ETC FOR REUSE OR DONATION WHERE APPLICABLE.

GENERAL SPECIFICATIONS

- NEW INTERIOR AND EXTERIOR WALLS SHALL BE 2X4 WOOD STUDS AT 16" O.C. UNLESS OTHERWISE NOTED.
- REMOVE EXISTING FLOORING, LEVEL JOISTS, INSTALL RADIANT AND NEW 3/4" T&G SUBFLOOR GLUED & SCREWED. INSTALL SOLID HARDWOOD T&G 3/4" THICK BY SPECIFIED WIDTH AND SPECIES. VARIOUS LENGTHS (4" MIN). FIELD FINISH W/STAIN (T&D) AND VOC FREE WATER-BASED POLYURETHANE.
- WALLS AND CEILINGS SHALL HAVE 5/8" GYPSUM BOARD.
- TUB AND SHOWER FLOORS & WALLS SHALL BE FINISHED W/A NONABSORBENT SURFACE AT LEAST 6" ABOVE THE FLOOR PER R307.2. DUROCK CEMENT BOARD AT WET SHOWER/BATH AREAS. MOISTURE RESISTANT BOARD FOR MOIST/HUMID AREAS. TYPICAL.
- SHOWER FLOOR TO HAVE CUSTOM PAN & LINER FOR TILE FLOOR. RAISED CURB W/STONE THRESHOLD.
- FRAME CORNERS OF WALLS WITH 3 OVERLAPPING STUDS AND EXTERIOR PLYWOOD SHEATHING, TYP.
- EXTERIOR WALLS TO HAVE 1/2" PLYWOOD OR OSB SHEATHING, TYVEK, AND SPECIFIED LAP SIDING.
- SHEATHING NAILING PATTERN PER CODE AND ENGINEER'S SPECIFICATIONS.
- ROOF FRAMING AT 24" O.C., 5/8" PLYWOOD OR OSB ROOF SHEATHING WITH 5/8" GAPS & CLIPS. ROOF MATERIAL PER ELEVATIONS.
- ALL EXTERIOR WINDOWS, CORNERS, FASCIA, CORNICE, ETC SHALL HAVE SOLID WOOD 5/4 TRIM BOARDS - SEE ELEVATIONS FOR PROFILE AND LOCATION.
- ALL NEW INTERIOR CASING, MOULDINGS, BASE MOULD, PLINTH BLOCKS, ETC THROUGHOUT SHALL BE SOLID WOOD WITH PROFILES TO MATCH EXISTING (S4S 1X4 AS 3/4"X3-1/2" ACCEPTABLE). SEE INTERIOR ELEVATIONS.
- PRIME ALL SIDES & CUTS OF EXTERIOR SIDING & TRIM. TWO COATS PAINT SHERWIN WILLIAMS DURATION/HARMONY PAINT OR EQUAL (OWNER OR INTERIOR DESIGN SPEC).

INSULATION SPECIFICATIONS

- PROVIDE JOHNS MANVILLE FORMALDEHYDE FREE BATT INSULATION; OR RIGID INSULATION WHERE APPLICABLE TO MEET THE MINIMAL R VALUE IN AREA OF NEW WORK, TYPICAL EXCEPT AS NOTED ON DRAWINGS:
R-38 FOR ROOF AT 13"
R-38C FOR ROOF AT 10-1/4"
R-21 FOR EXTERIOR 2X6 WALLS AT 5-1/2"
R-15 FOR EXTERIOR 2X4 WALLS AT 3-1/2"
R-25 FOR FLOORS OVER UNCONDITION AIR
R-11 UNFACED FOR INTERIOR WALLS
R-30 AT BAND JOIST
R-15 FOR STUD CAVITY AT BASEMENT WALL
R-10 RIGID CONT. W/TAPED JOINTS AT EXT. BASEMENT
R-10 RIGID UNDER CONCRETE SLAB & B/W FTG
- FENESTRATION U-FACTOR 0.40
- SKYLIGHT U-FACTOR 0.80
- HISTORIC NOTE, STATE REHABILITATION PROGRAM DOES NOT ALLOW SPRAYED OR BLOWN-IN INSULATION.

FINISH SPECIFICATIONS

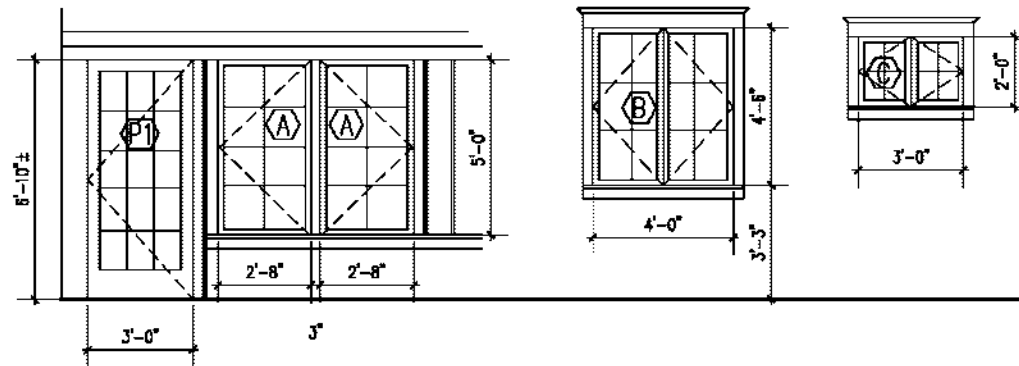
- SEE FINISH SPECIFICATIONS ON PLANS.
- SEE ELEVATIONS FOR TRIM PROFILE AND LOCATIONS, SIDING, ROOF MATERIAL, ETC.
- SEE FINISH SCHEDULE FOR CERAMIC AND STONE TILE, COUNTERS, PRICE PER SF, AND ESTIMATED SF.

FIXTURE SPECIFICATIONS

- SEE FIXTURE SCHEDULE FOR PLUMBING, HARDWARE, & LIGHTING SPECIFICATIONS FOR MANUF/MODEL OR ALLOW.
- SEE FIXTURE SCHEDULE FOR ITEMS DESIGNATED AS PROVIDED BY OWNER VERSUS GC. ALL FIXTURES SHALL BE INSTALLED BY GC.

EXTERIOR WINDOW & DOOR SCHEDULE		QUANTITY
	JELDWEN CUSTOM WOOD WINDOWS AND PATIO DOORS - OR EQUAL MANUFACTURER SUCH AS LOEWEN OR MARVIN. PRIMED AND PAINTED WOOD. LOW E DOUBLE GLAZING. WHITE SCREENS ON ALL OPERABLE UNITS. SIMULATED DIVIDED LITE (SDL) MUNTIN BARS AS SHOWN. HARDWARE FINISH TO BE SELECTED BY OWNER.	
(A)	CASEMENT CWC3250. SEE ELEVATION FOR GANGED UNITS, TRIM AND SWING. MUNTIN PATTERN AS SHOWN.	
(B)	FRENCH CASEMENT CWCFR4854 AS SHOWN. SEE ELEVATION FOR GANGED UNITS AND TRIM. MUNTIN PATTERN AS SHOWN.	
(C)	FRENCH CASEMENT CWCFR3624 WINDOW AS SHOWN. SEE ELEVATION FOR GANGED UNITS AND TRIM. MUNTIN PATTERN AS SHOWN.	
(P1)	WOOD PATIO DOOR WISWT3068. TEMPERED GLAZING. MUNTIN PATTERN AS SHOWN. COORDINATE STANDARD SIZES W/MANUFACTURER.	

NEW WINDOWS AND EXTERIOR PATIO DOORS
DIMENSIONS NOTED ARE UNIT FRAME SIZE. SEE MANUFACTURER FOR ROUGH OPENING SIZE. SEE SCHEDULE FOR MODEL NUMBERS AND DETAILS.



KAYES-STARK RESIDENCE
2321 North Jackson Street
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Renovation / Addition

Issue:	Date:
DRC	2012.03.21
HALRB	2012.04.09

NOTES & SCHED.

REMOVE OLD COVERED PORCH THAT USED TO BE SCREENED. REPLACE WITH NEW SUNROOM (SAME WIDTH, BUT DEEPER). SEE NEW DESIGN.

PRESERVE AND PROTECT TREE THROUGHOUT CONSTRUCTION

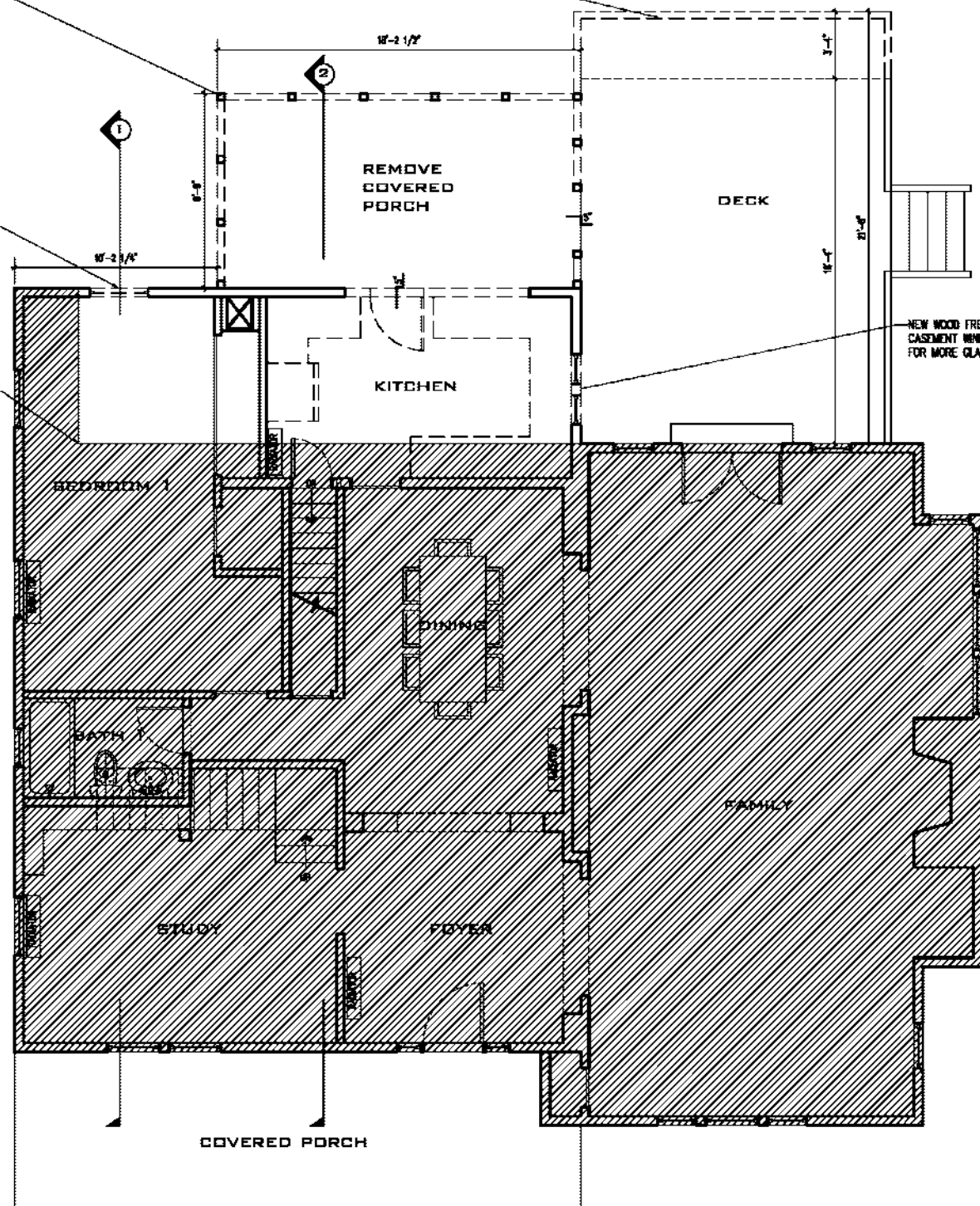
EXISTING WINDOW IS ONLY STORM PANEL. NEW WOOD WINDOW IN ORIGINAL DOUBLE SASH DESIGN. SEE ELEVATION.

HATCHED AREA DOES NOT HAVE ANY IMPACT ON EXTERIOR FOR DRC/ALRB'S REVIEW.

REMOVE RAIL AND END OF DECK. REPLACE WITH TERRACED DECK AND STAIR DESIGN TO INTEGRATE WITH LANDSCAPE AND BACKYARD.

REMOVE COVERED PORCH

NEW WOOD FRENCH CASEMENT WINDOW FOR MORE GLAZING.

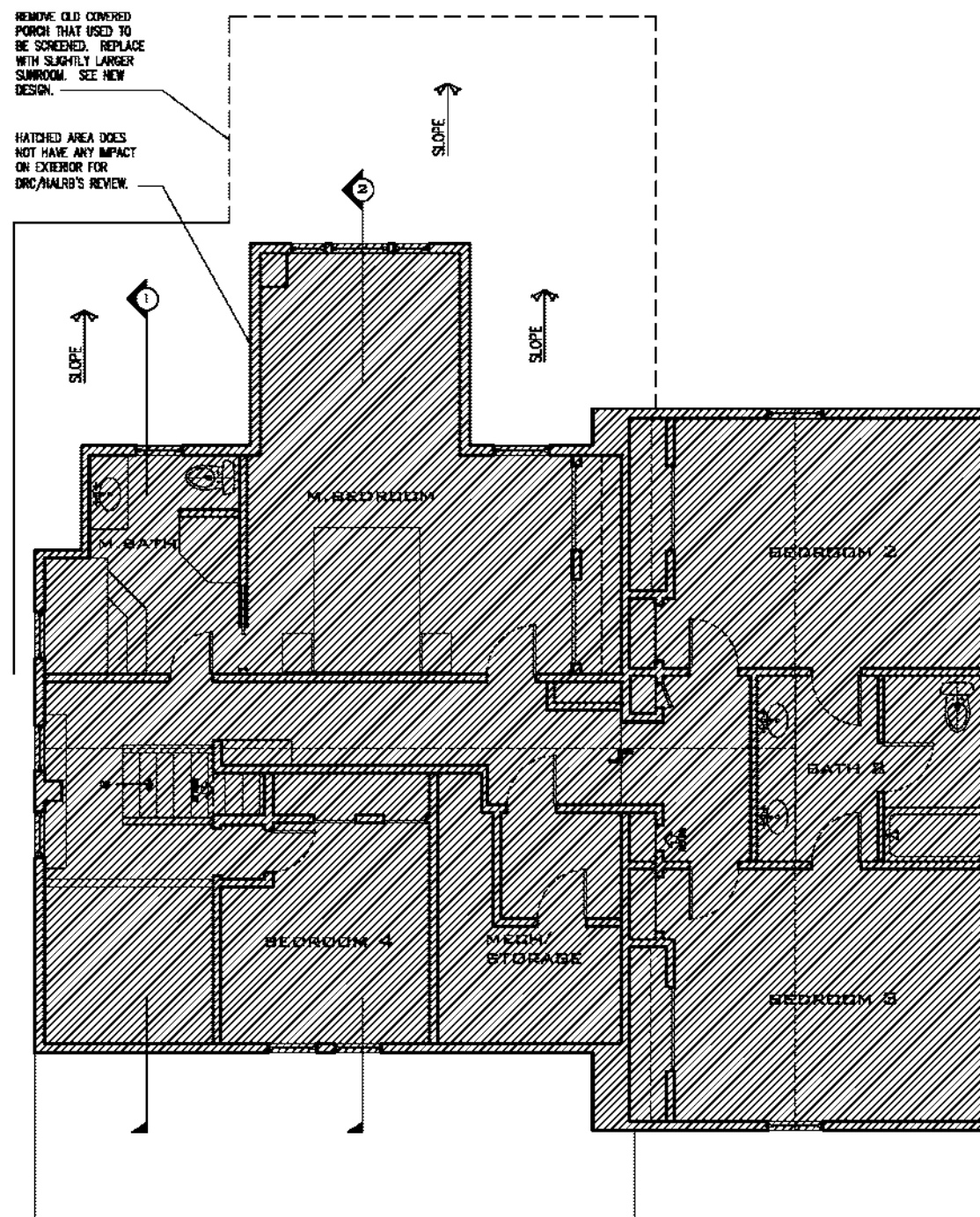


EXISTING FIRST FLOOR PLAN

Scale: 1/8" = 1'-0"

REMOVE OLD COVERED PORCH THAT USED TO BE SCREENED. REPLACE WITH SLIGHTLY LARGER SUNROOM. SEE NEW DESIGN.

HATCHED AREA DOES NOT HAVE ANY IMPACT ON EXTERIOR FOR DRC/ALRB'S REVIEW.



EXISTING SECOND FLOOR PLAN

Scale: 1/8" = 1'-0"

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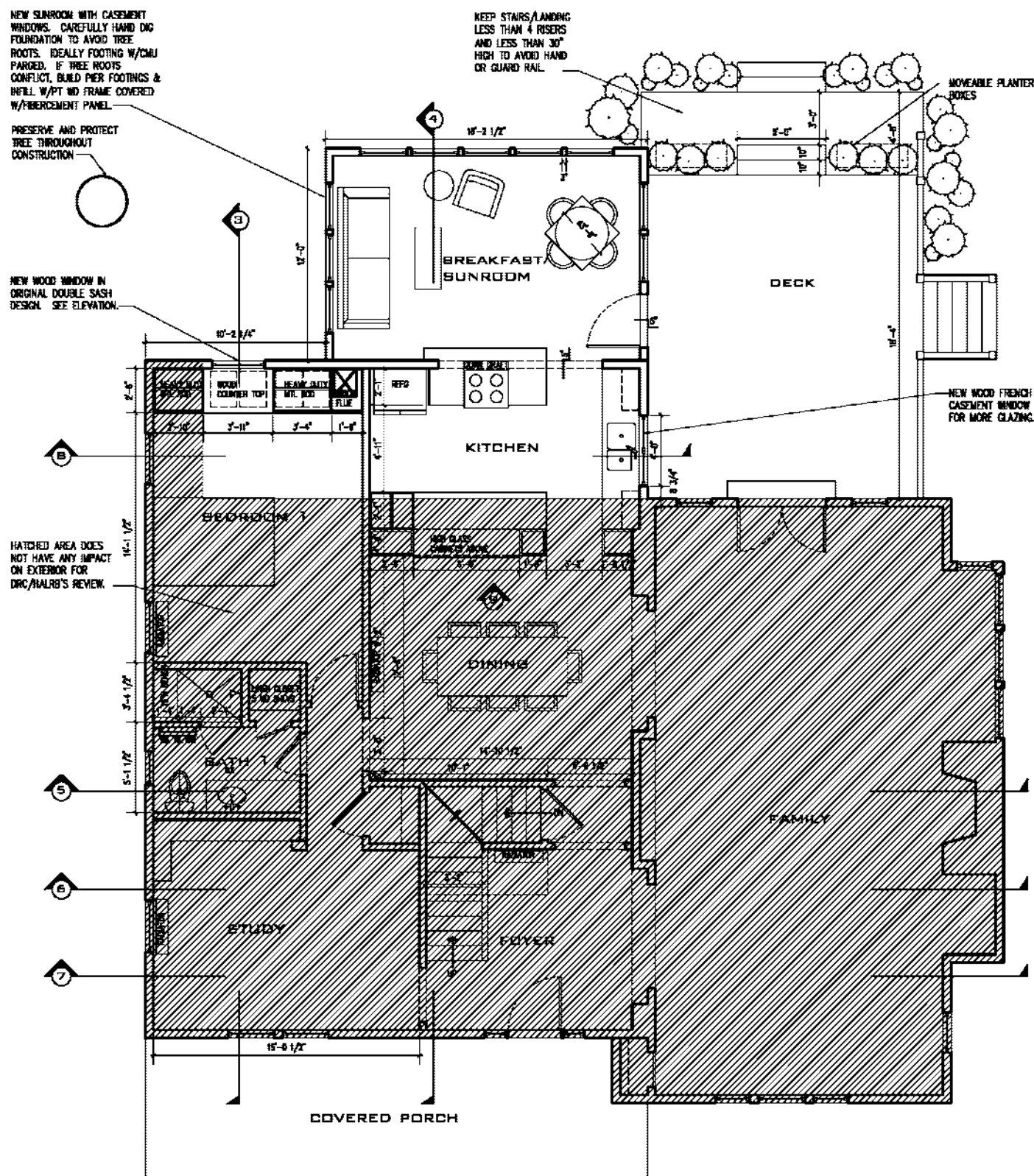
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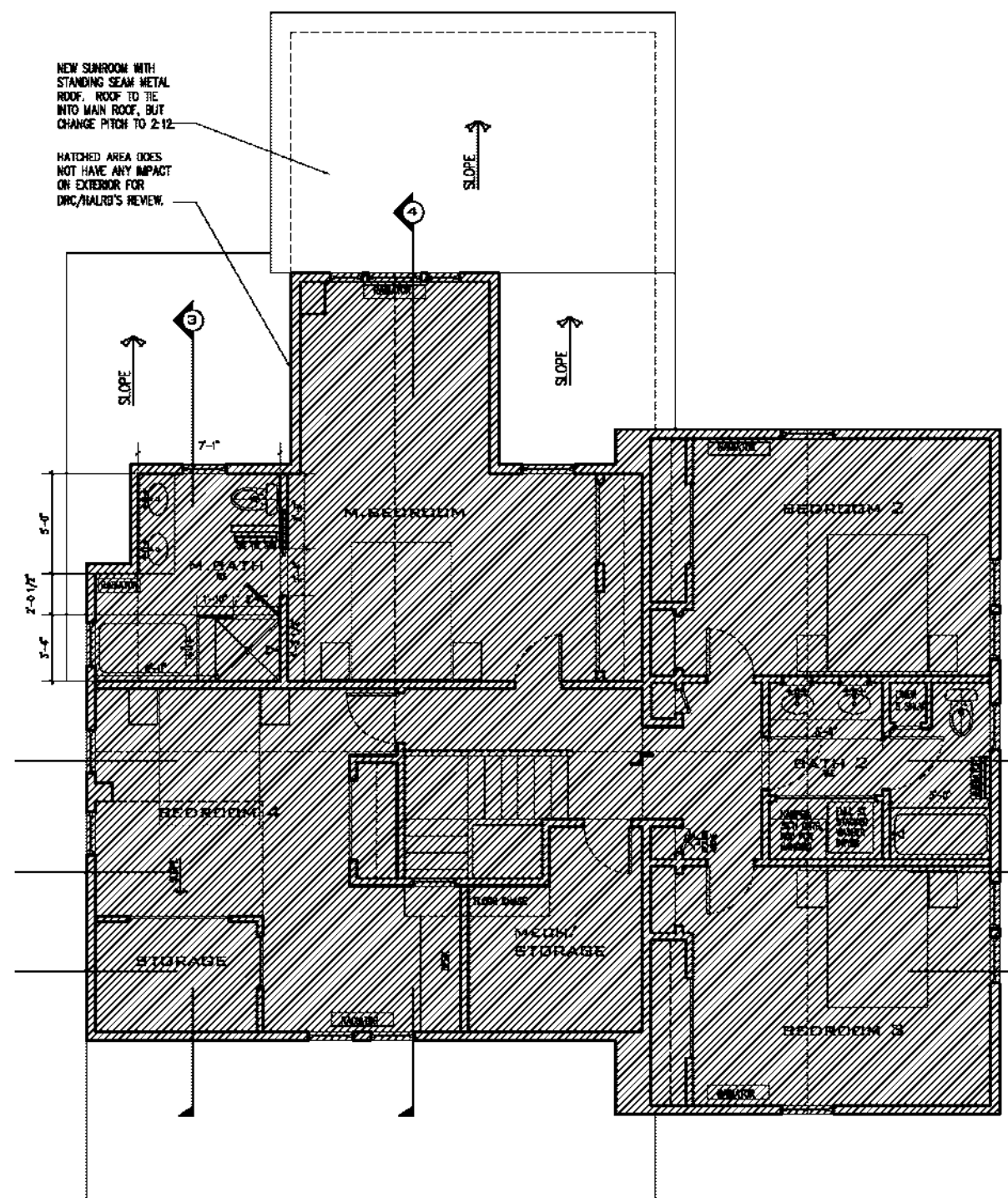
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EXISTING PLANS



NEW FIRST FLOOR PLAN

Scale: 1/8" = 1'-0"



NEW SECOND FLOOR PLAN

Scale: 1/8" = 1'-0"

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NEW PLANS

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EXISTING SOUTH SIDE ELEVATION

Scale: 3/16" = 1'-0"

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EX. ELEVATION

A-4



REMOVE WINDOW W/ONLY
STORM PANEL REMAINING.
PREPARE FOR NEW WINDOW
IN ORIGINAL STYLE.

REMOVE REAR OF DECK PER
NEW DESIGN.

REMOVE SCREEN PORCH IN
FULL. PREPARE FOR NEW
SUNROOM.

EXISTING EAST REAR ELEVATION
Scale: 3/16" = 1'-0"

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EX. ELEVATION

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EXISTING NORTH SIDE ELEVATION

Scale: 3/16" = 1'-0"

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EX. ELEVATION

A-6



NEW SOUTH SIDE ELEVATION

Scale: 3/16" = 1'-0"

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NEW ELEVATION

A-7



KEEP STAIRS/LANDING
LESS THAN 4 RISERS
AND LESS THAN 30"
HIGH TO AVOID HAND
OR GUARD RAIL

- LOW SLOPE ROOF WITH STANDING SEAM METAL ROOFING.
- REUSE EXISTING COPPER HALF ROUND GUTTER AND DOWNSPOUT.
- MATCH PROFILE OF EXISTING DECORATIVE RAFTER TAILS AND BEAMS
- NEW FRENCH CASEMENT WINDOW TO REPLACE SINGLE STORM PANEL. DESIGN LIKE ORIGINAL (NO SASHES LEFT)
- WOOD PANEL DETAIL TO MATCH EXISTING ABOVE AT CORNER.
- WOOD LAP SIDING TO MATCH EXISTING
- 5/4X4 WOOD TRIM BOARDS, TYP.
- NEW SUNROOM WITH CASEMENT WINDOWS. CAREFULLY HAND DIG FOUNDATION TO AVOID TREE ROOTS. IDEALLY FOOTING W/CMU PARGE. IF TREE ROOTS CONFLICT, BUILD PIER FOOTINGS & INFILL W/PT WD FRAME COVERED W/FIBERCEMENT PANEL.

NEW EAST REAR ELEVATION

Scale: 3/16" = 1'-0"

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NEW ELEVATION

A-8

Issue:	Date:
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NEW NORTH SIDE ELEVATION

Scale: 3/16" = 1'-0"