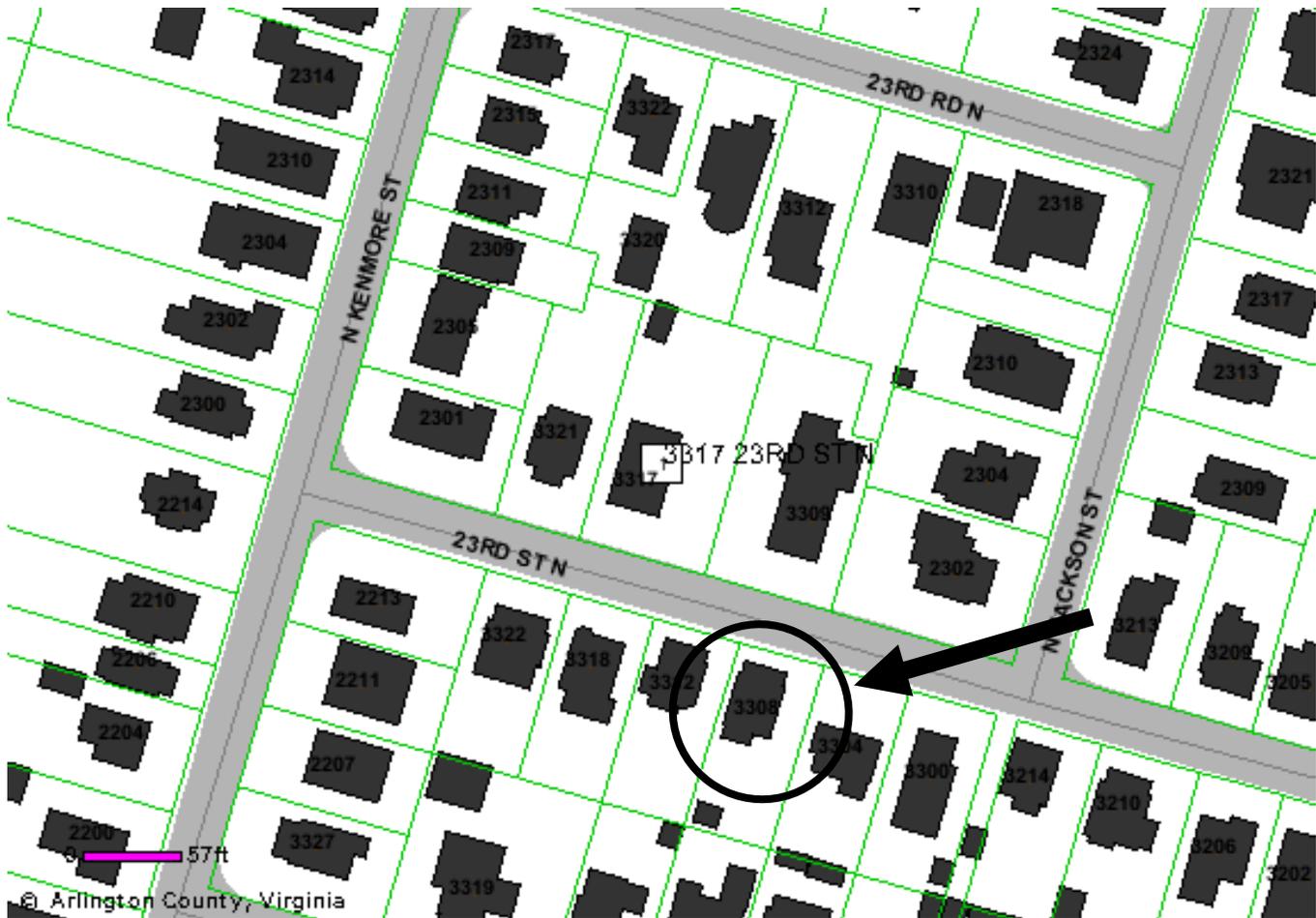


Historical Affairs and Landmark Review Board

Arlington County, Virginia

HALRB Case 12-27 (HP1200025)



A request by Ken & Christina Friedli, owners of 3308 23rd Street North in the Maywood Neighborhood Historic District, for 1) A request for partial demolition and construction of a two-story rear addition; and, 2) A request for a variance from the sideyard setback.

For DRC (*circle those present*): Robert Dudka, **Charles Craig, Charles Matta**, Darren Hannabass,

For Arlington County (*circle those present*): **Cynthia Liccese-Torres, Rebecca Ballo**

Case #12 - 27 Agenda Item # No 2

- Application Complete
- Application Incomplete

Applicant(s): Friedli

For Applicant(s): Friedli, Fitzharris

(See attached application for applicant, address, name of property and property description, drawings, photographs, and proposed scope of work.)

Design Recommendations:

1. On west and south fenestration—make this window configuration and lite pattern more consistent.
2. On east elevation—reduce double window to single.
3. Rear roof end gable—consider going back to previously approved hip roof with dormer.
4. Adjust trim on rear porch to align with front porch.
5. Reexamine location and size of gas fireplace.

Findings:

- Return to next DRC meeting
- Send to HALRB (see below for recommended actions)

If sent to HALRB, recommended action is:

- Place on consent agenda
- Place on discussion agenda:
 - Recommend approval of CoA, with DRC design recommendations and/or additional information provided
 - Recommend deferral of ruling on CoA (explanation):
 - Recommend denial of CoA (explanation):
 - No recommendation.

For DRC (*circle those present*): Robert Dudka, **Charles Craig**, Charles Matta, Darren Hannabass,

For Arlington County (*circle those present*): **Cynthia Liccese-Torres, Rebecca Ballo**

Case #12 - 27 Agenda Item # No 3

Application Complete

Application Incomplete

Applicant(s): Friedli

For Applicant(s): Friedli, Fitzharris

(See attached application for applicant, address, name of property and property description, drawings, photographs, and proposed scope of work.)

Design Recommendations:

1. Define foundation material.

Findings:

Return to next DRC meeting

Send to HALRB (see below for recommended actions)

If sent to HALRB, recommended action is:

Place on consent agenda

Place on discussion agenda:

Recommend approval of CoA, with DRC design recommendations and/or additional information provided

Recommend deferral of ruling on CoA (explanation):

Recommend denial of CoA (explanation):

No recommendation.



CERTIFICATE OF APPROPRIATENESS STAFF REPORT

TO: HALRB
FROM: Rebecca Ballo
DATE: January 7, 2013
SUBJECT: 3308 23rd Street North, Case 12-27, Maywood Historic District

This is a request to construct a new two-story rear addition at 3308 23rd Street North in the Maywood Historic District. The house is a Colonial Revival-style Foursquare built prior to 1916. The *Maywood National Register Nomination* describes the house as follows: “The four-bay-wide, wood-frame dwelling rests on a solid concrete-block foundation. It is clad in narrow lapped wood siding and has a hipped roof sheathed in asphalt shingles. It has a one-story, three-bay, wood-frame front porch with Tuscan columns and six-over-one wood-sash windows. Window and door surrounds have molded lintels and projecting sills. Other notable features include a hip-roof dormer with four-light wood-sash windows and clad wood shingles, wide, overhanging eaves and a rear one-story shed-roof addition.” It is listed as a contributing building in the *National Register Nomination*.

The HALRB approved a similar CoA request in March 2005 with CoA 05-04. That CoA expired and the owners did not begin the work. The current proposal is nearly the same as the original design in terms of scale, massing, and style.

This proposal would remove the rear wall and rear one-story porch. The new addition will have a footprint of approximately 22' x 22' and will be offset from the original house by 1' on each side. It will have a hip roof with a hipped dormer in the rear elevation. The new roof will have asphalt shingles to match the original roof. The new addition will be sheathed in 4" Hardiplank lap siding with a smooth finish. The windows will all be wood SDL, with details to match the existing house. The doors also will be wood. The applicant is proposing to use AZEK trim in locations and with dimensions allowed under the revised *Maywood Design Guidelines*.

The previously approved CoA 05-04, as well as this application, proposes a side yard setback for the new addition that does not meet the Zoning requirements for the R-6 classification. The new addition, if approved, would be set back 6'6" from the side yard, whereas the requirement is 8'. The existing house, constructed prior to 1916, is set back 5'5" from the side yard. The proposal could shift the rear addition to meet the side yard setback requirement, but this configuration is appropriate to the house, is consistent with several other additions in the Maywood neighborhood, and does have a greater setback than the existing house. Staff finds that it meets the conditions set forth in ACZO Section 31A to allow the HALRB to direct the Zoning Administrator to grant approval for the variance for the side yard setback of 6'6".

The DRC recommended approval of this application and asked that this case be placed on the consent agenda for the January 16, 2013, HALRB meeting. Staff finds that the request meets the intent of Chapter 6: New Addition/Building, Chapter 7: Site Elements, and Appendix D: Cellular Polyvinyl Chloride (PVC) Trim in the *Maywood Design Guidelines*. Staff recommends approval of the CoA.

Additionally, staff recommends that the HALRB find the proposed setback for the new construction to be consistent with the existing streetscape and the Historic District guidelines even though such setback is inconsistent with the requirements of the underlying zoning district. Staff further recommends that the HALRB direct the Zoning Administrator to issue the variance.